

DEKALB COUNTY DEPARTMENT OF DEVELOPMENT SERVICES

PLANNING • BUILDING • GIS

301 S. Union St., Auburn IN 46706

Planning: 260.925.1923 • Building: 260.925.3021 • GIS: 260.927.2356 • Fax: 260.927.4791

AGENDA

DeKalb County Plan Commission

Plan Commission

Commissioners Court – 2nd Floor DeKalb County Court House

Wednesday, December 17, 2025

7:00 PM

To view the livestream, click here: <https://tinyurl.com/YouTubeDCPC>

1. Roll call
2. Pledge of Allegiance
3. Prayer
4. Approval of Minutes: November 19, 2025
5. Consideration of Claims: November 2025

Payroll	\$29,815.04
ESRI ELA Payment	\$27,540.78
HWC Consultant Fees	\$15,004.89
Lassus	\$321.69
WestWood Car Wash	\$18.00
TOTAL:	\$72,700.40
6. Old Business: None
7. New Business:
 - 2026 Attorney Fee Agreement
 - 2026 Plat/Plan Commission Meeting Calendar – Acknowledgement

Petition #25-38– Leroy & Shyla Graber requesting a Development Plan for a confined feeding operation for approximately 82,000 chicken & associated accessory uses. The property is located at 7735 County Road 28, Butler, Indiana and is zoned A2, Agricultural.
8. DeKalb 2040 – Comprehensive Plan Update
 - Comprehensive Plan Presentation Date & Recommendation Date
9. Reports from Officers, Committees, Staff or Town/City Liaisons
10. Comments from Public in Attendance
11. Adjournment

Next Meeting: January 21, 2026

Voting Members:

President - Jason Carnahan – Purdue Ag Extension Representative (Yearly Appointment)
Vice President - William Van Wye – County Council Representative (Yearly Appointment)
William Hartman – County Commissioners Representative (Yearly Appointment)
Sandra Harrison – Township Trustee Representative (Yearly Appointment)
Glenn Crawford/Tyler Lanning (Alternate) – County Surveyor (Member by Elected Office)
Jerry Yoder/Jared Malcolm (Alternate) – Citizen Member (R) - Term: (Jan 1, 2024 – Dec 31, 2027)
Suzanne Davis – Citizen Member (D) – Term: (Jan 1, 2022 – Dec 31, 2025)
Angie Holt – Citizen Member (R) – Term: Jan 1, 2023 – Dec 31, 2026)
Frank Pulver – Citizen Member (D) – Term: Jan 1, 2025 – Dec 31, 2028)

Non-Voting Members:

Elysia Rodgers – Purdue Ag Extension Representative (Member by Indiana Code)
Andrew Kruse - Attorney

If you cannot attend, please contact Meredith Reith:

mreith@co.dekalb.in.us or (260) 925-1923

***PLEASE ENTER THROUGH THE NORTH DOOR OF
COURTHOUSE LOCATED ON SEVENTH STREET***

****Cellphones, tablets, laptops, & weapons are prohibited****

MINUTES
DEKALB COUNTY PLAN COMMISSION
Wednesday November 19, 2025

The Regular Meeting of the DeKalb County Plan Commission was called to order at 6:30 p.m. in the DeKalb County Commissioner's Courtroom by Plan Commission President, Jason Carnahan

ROLL CALL:

Members Present: Jason Carnahan, William Van Wye, William Hartman, Tyler Lanning, Suzanne Davis, Angie Holt, Sandra Harrison, Jerry Yoder, and Jared Malcolm (Non-Voting)

Members Absent: Frank Pulver and Elysia Rodgers.

Staff Present: Director/Zoning Administrator Chris Gaumer, and Secretary Meredith Reith.

Staff Absent: Plan Commission Attorney Andrew Kruse

Community Representatives Present: Mike Makarewich

Public in Attendance: Kellen Dooley

PLEDGE OF ALLEGIANCE:

Jason Carnahan led The Pledge of Allegiance.

PRAYER:

Jerry Yoder led in prayer.

APPROVAL OF MINUTES:

Motioned by Angie Holt to approve the August 20, 2025 meeting minutes. Seconded by Sandra Harrison. None opposed. Motion carried. William Hartman abstained due to absence.

CONSIDERATION OF CLAIMS:

Jason Carnahan inquired about any comments, questions, or motions to approve August/September/October 2025 claims, totaling \$113,899.86.

Suzanne Davis motioned to approve claims seconded by William Hartman. None opposed. Motion carried.

OLD BUSINESS: None

NEW BUSINESS:

Butler ETJ Agreement 2025 Discussion:

Chris Gaumer explained that the Butler ETJ agreement is included in the packet. The County currently has an Extra-Territorial Jurisdiction (ETJ) area with the City of Butler, which has been part of the city's Comprehensive Plan for several years. Butler recently adopted its revised Comprehensive Plan, Indiana Code requires when a new plan is adopted, an interlocal agreement must also be established. The agreement presented tonight fulfills that requirement. He noted that the agreement is very similar to those previously approved with Auburn, Garrett, and Waterloo over the past four to five years. This will be the fourth interlocal agreement with a municipality. He reviewed the document, stating it was recommended for approval by Butler's Plan Commission on October 16th and subsequently received a recommended approval from the City Council. The agreement is now awaiting recommendations from the County Plan Commission and the County Commissioners.

He explained that the purpose of the agreement is simply to formalize in writing the procedures already in place for the ETJ area. He highlighted Section 2, which states that zoning authority within the ETJ will transfer to the City of Butler and will no longer be administered by the County. However, any project within the ETJ will still need to go through the County Surveyor or Drainage Board. He pointed out one key difference in this agreement. This is sewer hookups, unlike other municipalities, the City of Butler wanted the option not to require connection to city sewer if it is not financially feasible. In such cases,

septic systems may be allowed, provided all zoning requirements are met. The subdivision control authority within the ETJ will also fall to the city, including approval of new subdivisions, lots, or developments. Street standards will follow the Highway Department's specifications, included in Exhibit B, which have been reviewed and approved with no changes. Drainage plans for subdivisions will still require review by the County Surveyor or Drainage Board. Addressing will be handled throughout the County, though the city will determine when new addresses are required. He emphasized that these practices are already in place and are now being formally documented. He clarified that while the city will handle zoning enforcement within the ETJ, the County will retain authority over public nuisance ordinances, such as issues involving trash or disabled vehicles.

He also reviewed the updated maps included in the packet. The current ETJ boundary ends at Butler's southern border, but the city and planning staff have discussed expansion for several years. Previous city planners had requested this extension, though it was never completed. The proposed expansion extends south to CR 34, west to CR 61, and east to CR 71, as shown in the red outline. The purpose of the ETJ, he noted, is to ensure that development around the municipality aligns with city planning and zoning standards and to reduce the likelihood of non-conforming structures or uses if those areas are annexed in the future. He reiterated that similar agreements are already in place with other municipalities and added that Hamilton has an ETJ based on existing Indiana Code, which does not require an interlocal agreement. He concluded by inviting any questions and stated that a recommendation to the County Commissioners is needed, with final consideration scheduled for December 8th.

Angie Holt addressed that she had a couple of questions. She asked if there were any notable differences from other Interlocal Agreements or any updates/improvements.

Mr. Gaumer stated that just the Sewer Hookup was the main one that changed. This would give the City of Butler the ability to not require the city hookup.

Sandra Harrison added that this gives them more flexibility.

Mrs. Holt asked how this impacts the people that will be in this newly expanded area of the ETJ, would it be up to the city.

Mr. Gaumer stated that this would be for new development. If the City wanted to extend this sewer hookup they could but it isn't mandatory. From what he understood, Auburn is the only municipality that has sewer that extends outside of their jurisdiction. The other municipalities Garrett, Butler, and Waterloo have agreed that if there're going to extend sewer outside their municipality, they would annex this as well. He addressed that this would probably happen with the City of Butler and if a development came and requested city sewer, they would annex this portion to allow sewer. If a new sewer line came the city would have the flexibility not to require the connection.

Andrew Kruse mentioned that Butler does have a sewer line extended to SDI. You wouldn't want everyone next to that sewer line to have to hook up to it since it's there specifically for SDI.

Mr. Gaumer added that they couldn't really have annexed SDI, but they could have.

Mrs. Holt asked why it's in the Interlocal Agreement why wouldn't it be the other way around that they can require people to do it vs opting out.

Mr. Gaumer stated that they can require people to hook up. He addressed that most of this requires all new development and new construction of homes, within 300 feet of a gravity sewer to hook into that main municipal sewer. If this doesn't make sense financially or feasibility-wise or if they have a recently developed septic system that's in working order, we're not going to require them to hook up.

Mrs. Holt asked so the city would be making this decision. Mr. Gaumer stated yes.

Mr. Kruse added that the default would typically be for cities and towns that you would have to hook up. This might help a homeowner if they just put in new septic system and the city may grant them a waiver.

Mrs. Holt expressed that her concern was that we're not adding additional people to hook up to city sewer.

Mr. Kruse stated that this has the option to benefit people more.

Mr. Gaumer added that this was the intent of the wording.

Mr. Kruse stated that this doesn't harm anyone but just benefits them.

Jason Carnahan stated that the intention is for pretty much all of it to be zoned in the agricultural zoning.

Mr. Gaumer stated that this right, there's some properties that are zoned industrial that'll switch to theirs. He added that he wanted to say that the only property that did change was the Malcolm Farms from rural estate to agricultural. The property next to the school is owned by Malcolm Farms as well and was zoned for the school back to agricultural. He stated that Butler will mirror what our zoning is.

Mrs. Holt asked about the enforcement of the public nuisance ordinance by the county. Can you explain if this is the county's desire or is that just continuing the way that it's currently operating.

Mr. Gaumer addressed that this is the way we've been operating in the other municipalities as well. Due to county code, it cannot extend outside of their municipal limits.

Mr. Kruse addressed that you mean like Butler, cannot follow their nuisance ordinance and other codes outside their city limits.

Mr. Gaumer stated that the county would enforce these rules.

Mrs. Holt asked so this agreement is approximately four years. Is that standard that we have with our other agreements and our we are up to date on all our other ones.

Mr. Gaumer stated that this is a standard agreement of four years. He believed that we are due to review Auburn's. He addressed that the wording is that we review with planning staff every four years. It wouldn't necessarily come to plan commission unless there was some sort of major revision. He read the wording from the agreement. "If the agreement is not revised, it should try to remain in full force effect until modified by the county and city." So really if there'd be anything major that would change the agreement if the county or city decided. He gave an example, maybe we would decide to switch our addressing standards to be like the cities and towns because we do the opposite. If we change this and make it uniform, we will need to change the agreement to reflect this.

Mrs. Holt mentioned that otherwise it stays internal to your staff and unless one of the parties wants to revisit it, then it stays.

Mr. Carnahan asked if there was any more discussion amongst the board. He asked if there was anyone in the audience that would like to speak on this agreement. Hearing none. The public portion was closed.

Mr. Gaumer explained that the interlocal agreement is between the two county executives. The Plan Commission reviews it to provide a recommendation to the County Commissioners. It was presented to the Butler Plan Commission for a recommendation to City Council. He emphasized that a recommendation is desired. The agreement was published in the newspaper to inform the public. During Butler's public hearing, letters were sent to all property owners within the extended ETJ, resulting in what was likely Butler's first fully attended city council meeting. Public questions focused on taxation, zoning, property impacts, and whether city sewer connections would be required. He clarified that property taxation and assessment are not determined by this agreement.

Jared Malcolm added that most of the residents were concerned about how this would change their day-to-day lives. The county will still handle almost everything. It will be just permitting and zoning but most of this will still be with the county. As far as the septic and sewer issue, the number that the mayor used cost a million dollars a mile to put in new sewer. It would have to be pretty advantageous to get enough units to make that worth it.

Mr. Carnahan stated that if there's no more questions or discussion. We would entertain a motion for a favorable, unfavorable, or no recommendation to the County Commissioner's.

IT IS, THEREFORE, THE DECISION OF THE PLAN COMMISSION THAT THIS EXTRA TERRITORIAL JURISDICTION AGREEMENT WITH THE CITY OF BUTLER, IS HEREBY CERTIFYING A FAVORABLE RECOMMENDATION TO THE COUNTY COMMISSIONERS ON THIS 19TH DAY OF NOVEMBER 2025.

Motion made by: Sandra Harrison

Seconded by: Suzanne Davis

Vote tally: Yes: 8

No: 0

Jason Carnahan

William Van Wye

William Hartman

Sandra Harrison

Tyler Lanning

Suzanne Davis

Angie Holt

Jerry Yoder

DeKalb 2040 – Comprehensive Plan Future Land Use Discussion/Update:

Mr. Gaumer said that he would like to review the future land use map for the Comprehensive Plan with everyone tonight. It's been reviewed again by his office and the draft land use classifications are in your packet as well. He stated that he wanted to see if there was anything glaring that you all thought may need revised. He addressed that in our old future land use map we had two agricultural districts. One was a plain agricultural and the other was a mixed agricultural and rural residential. This was combined into just one agricultural district, and our zoning can dictate what should be conservation agricultural vs agricultural. The change was to combine the two colors into one. The other change was the airport compatible use area, the hatched lines you see there surrounding the airport. Before it was just kind of the immediate vicinity of the airport over to CR 39, CR 19, south to CR 68, and north to CR 56. It didn't match what our airport compatible area overlay district was. He felt that the future land use map should mirror what that airport compatible area is because that area is not going to change. It's been approved by the FAA and to get that revised and changed would be a whole undertaking and he doesn't think that's going to happen. He addressed another change that he would like to discuss tomorrow, the SDI area. It looks like all of it went agricultural and this is an error on their part, and he will make sure it gets corrected. If you all remember there was a future map from the old comp plan showing a long corridor of industrial future land use towards SDI. He walked over to the board showing the draft of the future land use map. He addressed that four or five properties have been rezoned from industrial back to agricultural or residential. He believed that when the comp plan was done, that this would be an industrial corridor around SDI. He just really didn't see this happening. We revised the map to include the current SDI properties and the properties to the south along SR 8 and CR 55 would show this industrial area. He expressed that it just didn't make sense for this area to remain industrial having homes on these properties already. He stated that he would like to go over this draft with everyone and see if there were any areas that needed to be changed or included. There were discussions regarding what happens around Auburn and Waterloo. This will remain

as a residential area. The area of St Joe for their ETJ has been updated. This plan won't be adopted until probably March or April. The draft also included the new potential Butler ETJ area. He added that currently in our future land use plan for classifications they aren't defined well. In the packet you will find the eight classifications that we have. It states the description as to what the primary uses are, what could be secondary uses within that area and additional notes gives the plan commission flexibility in rezoning properties. He explained that as you guys know when we rezone properties you should be mindful to what the future land use map and comprehensive plan says, but the future land use map doesn't dictate that you must have these zones under this future land use map designation. Having these primary and secondary notes gives flexibility to the plan commission to have additional backing when you make your recommendations to the County Commissioners for rezones or even development plans. The draft has been submitted to the steering committee; the future land use map and classifications have already been reviewed. If you have anything you may want to see changed, he would be happy to take these back to the consultant. We will be meeting tomorrow at 9 am and any edits can be received by the first week of December.

Mr. Yoder asked what agricultural land use would do for the Amish that we're moving in. They would like to have a home-based business that's not going to be agricultural based. If they have a business like a small engine shop, where will this fit into all this area.

Mr. Gaumer stated that it will still follow the same laws that we have now. So, if they have a small engine shop, they will still fall under our home-based business part of our zoning. This doesn't change the future land use classification of the property; it's still seen as agricultural.

Mr. Yoder addressed that in the classifications it states that agricultural includes, single family dwellings on large lots and agricultural related businesses. It doesn't really state the business other than agricultural.

Mr. Gaumer stated that this would need to be addressed in our home-based business section of our ordinance. This would have the types of home-based businesses that would be permitted and would have to go to the BZA to be reviewed. He thinks that we could add this as a secondary use and add something about a home-based business conforming to the UDO standards.

Mr. Malcolm added that the one we talked about in the meeting you have at I-69 and CR 68 are all industrial. He expressed this as being a pipe dream to end up with an off ramp. Just based on some of the housing in that area he didn't believe that the people would be happy about this.

Mr. Gaumer stated that he remembered this being discussed at the meeting. He wasn't sure why it was left and hadn't talked to the consultants since. Maybe this is just a mistake made on their end. This needs to be discussed with Commissioner's and INDOT to confirm that an interchange at CR 68 is going to happen, maybe in 10 years or if we would need another one and this is where it would go. It just would make since to have this in the future land use map and it doesn't happen for 20 years or more. This needs to be discussed to make sure this is something that would happen to leave this future zoning on the map. He expressed that he didn't see this as being industrial. Probably would be more commercial and condensed because the intersections of Union Chapel, SR 8, and 11A are going to be where commercial development could possibly be.

Suzanne Davis stated that unless it was something that wanted to be close to the airport and possibly an industry.

Mr. Malcolm added that they're going to have regulations on what kind of business can be done by the airport.

Mr. Gaumer addressed that there's signs near the airport promoting the land that they own for commercial development. It makes total sense that they're looking for very low intensity warehousing style elements. Nothing that's going to cause large influx of traffic, that sort of thing. He discussed what could happen if they plan to develop any of the areas near the airport. This change will need to be discussed during the

steering committee meeting. This area of CR 68 should probably change to residential. He would like everyone to look at this and provide any comments before it's submitted.

Mr. Carnahan asked if there were any more updates regarding the Comp Plan.

Mr. Gaumer added that he received a copy of the draft of the whole Comp Plan. We will be discussing at the meeting the goals and objectives and priority projects tomorrow. The month of December will consist of updating and revising the plan for a public meeting draft. The comments of the draft are due by Friday December 5th and hope to have a public draft ready by Friday December 19th. A presentation on January 21st and the first round of those public draft comments are due by February 1st. We will probably have a public hearing in March to give recommendations to the County Commissioners.

REPORTS FROM OFFICERS, COMMITTEES, STAFF OR TOWN/CITY LIAISONS:

Mrs. Davis informed the board that the City of Auburn held their meeting. In October approval was made to redo the parking lot that's south of Seventh Street with access to Union Street. They're going to eliminate the expiration date for utilizing the parking lot and we're going to put a permeable hard surface and mark the parking places. After completion this will be used by the public and not just employees. This month, the YMCA early learning center is buying the property that was Signature Construction that's on North Street. They have plans to expand and build another building that's going to be 6,700 square feet, with five classrooms and a lot of outdoor area and additional parking. This new expansion will allow the center to have more children. There was discussion on the East Auburn Estates which is between CR 31 and CR 46A just south of Auburn Drive. The residential plan was approved for approximately 65 home sites. This was previously approved to be annexed into the city, and this development will be under city standards. They also discussed that Fortify 11 will be constructing apartments just south of Fortify Life. This was tabled during the hearing until next month due to all the documents not being submitted.

Mrs. Harrison informed the board that the City of Butler held their meeting. They discussed their Comprehensive Plan changes. There was a public hearing on the interlocal agreement with the county and the ETJ area. The public asked questions on this new area and between Chris Gaumer and Andrew Provines the answers were very informative. The public seemed to be okay with the answers that were heard. They worried about the next people in charge coming on. They trust and believe what's happening now but what about the predecessors. It's hard to tell people it's in writing and you must believe what's in writing will be followed. The City of Hamilton held their meeting. They're looking at subdivision control requirements and sign control ordinances. Brent Shull gave everyone copies of the ordinances and they will meet again in January.

Mrs. Holt informed the board that there was no meeting for the City of Waterloo.

Mr. Van Wye informed the board that there was no meeting for the City of Ashley.

Jerry Yoder addressed that there should be a liaison from the board here to go to St. Joe's town meetings.

Mr. Gaumer stated that we don't have anyone currently representing St. Joe and can add this to the list come January. He asked when they usually hold their meetings.

Mr. Yoder answered that it may be the second Tuesday of every month.

Mrs. Harrison addressed that when St. Joe was here for the meeting, they asked about having a representative.

Mr. Gaumer stated that they did ask and Corunna would like to have one as well. When we met with Corunna for the Comprehensive Plan, their town board president asked if he could be on our Plan Commission. He can't be on our Plan Commission. He told him that he can be a liaison or non-voting representative and may join next year. We could add Corunna as well if anyone would like to go.

COMMENTS/QUESTIONS FROM THE PUBLIC IN ATTENDANCE:

None

ADJOURNMENT:

Jason Carnahan adjourned the meeting at 7:18 p.m.

President – Jason Carnahan

Secretary – Meredith Reith

**DEKALB COUNTY PLAN COMMISSION
AND BOARD OF ZONING APPEALS**

ATTORNEY FEE AGREEMENT FOR THE YEAR 2026

THIS AGREEMENT entered into by and between **Andrew D. Kruse**, Attorney at Law, and the **Plan Commission of DeKalb County, Indiana**, on this _____ day of _____, 20____.

WHEREAS, the Plan Commission desires to hire an attorney for itself and the Board of Zoning Appeals of DeKalb County, Indiana;

NOW, THEREFORE, in consideration of the mutual premises herein, it is agreed as follows, to-wit:

1. Andrew D. Kruse shall render legal services to the Plan Commission and the Board of Zoning Appeals upon the terms hereafter set forth for the year 2026 and thereafter until modified by the parties.

2. The Plan Commission shall pay a retainer fee for 2026 of \$6,500.00 to the attorney for attending the regular meetings of the Plan Commission and the Board of Zoning Appeals.

3. The Plan Commission shall pay the attorney \$175.00 per meeting for extra meetings of the Plan Commission or Board of Zoning Appeals.

4. The Plan Commission shall pay the attorney \$175.00 per hour, plus paralegal and expenses incurred, for zoning violation enforcement work and for any litigation work for the Plan Commission and the Board of Zoning Appeals and/or extra work.

IN WITNESS HEREOF, the parties hereto set their hands and seals on this _____ day of _____, 20____.

DEKALB COUNTY PLAN COMMISSION

by:

Chairman

Secretary

Andrew D. Kruse, #23555-17
KRUSE & KRUSE, PC, Attorneys at Law
143 East Ninth Street
Auburn, Indiana 46706
Phone: 260-925-0200

DEKALB COUNTY DEPARTMENT OF DEVELOPMENT SERVICES

PLANNING • BUILDING • GIS

301 S. Union St., Auburn IN 46706

Planning: 260.925.1923 • Building: 260.925.3021 • GIS: 260.927.2356 • Fax: 260.927.4791

2026 CALENDAR **DEKALB COUNTY PLAN COMMISSION – PLAT COMMITTEE**

Per Section 9.22 G.

Procedures follow Section 9.23K & 9.24H.

PETITIONS ARE TAKEN ON A FIRST COME, FIRST SERVE BASIS.
IF THE MEETING AGENDA IS FULL, YOUR PETITION WILL BE PLACED ON
THE NEXT AVAILABLE MEETING DATE.

THE APPLICATION AND PRELIMINARY REVIEW MUST BE COMPLETED
BEFORE THE APPLICATION IS FILED.

WE WILL DO OUR BEST TO GET APPLICATIONS ONTO REQUESTED MEETING
DATE, PROVIDED WE RECEIVE ALL APPROVAL LETTERS IN A TIMELY MANNER.

<u>MEETING DATE</u>	<u>TIME</u>
JANUARY 06, 2026	8:30 AM
FEBRUARY 03, 2026	8:30 AM
MARCH 03, 2026	8:30 AM
APRIL 07, 2026	8:30 AM
MAY 05, 2026	8:30 AM
JUNE 02, 2026	8:30 AM
JULY 07, 2026	8:30 AM
AUGUST 04, 2026	8:30 AM
SEPTEMBER 01, 2026	8:30 AM
OCTOBER 06, 2026	8:30 AM
NOVEMBER 03, 2026	8:30 AM
DECEMBER 01, 2026	8:30 AM

****No meeting due to Primary & General Election Days; meeting to take place on next scheduled date**

Meetings may get cancelled at times, due to lack of petitions.

DEKALB COUNTY DEPARTMENT OF DEVELOPMENT SERVICES

PLANNING • BUILDING • GIS

301 S. Union St., Auburn IN 46706

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2026 CALENDAR DEKALB COUNTY PLAN COMMISSION

(Zone Map/Overlay Amendments, Text Amendments,
Conventional Subdivisions, Development Plans)

PETITIONS ARE TAKEN ON A FIRST COME, FIRST SERVE BASIS.
IF THE MEETING AGENDA IS FULL, YOUR PETITION WILL BE PLACED ON
THE NEXT AVAILABLE MEETING DATE.

THE APPLICATION AND PRELIMINARY REVIEW MUST BE COMPLETED
BEFORE THE APPLICATION IS FILED.

WE WILL DO OUR BEST TO GET APPLICATIONS ONTO REQUESTED MEETING
DATE, PROVIDED WE RECEIVE ALL APPROVAL LETTERS IN A TIMELY MANNER.

<u>MEETING DATE</u>	<u>TIME</u>
JANUARY 21, 2026	7:00 PM
FEBRUARY 18, 2026	7:00 PM
MARCH 18, 2026	7:00 PM
APRIL 15, 2026	7:00 PM
MAY 20, 2026	7:00 PM
JUNE 17, 2026	7:00 PM
JULY 15, 2026	7:00 PM
AUGUST 19, 2026	7:00 PM
SEPTEMBER 16, 2026	7:00 PM
OCTOBER 21, 2026	7:00 PM
NOVEMBER 18, 2026	7:00 PM
DECEMBER 16, 2026	7:00 PM

Meetings may be canceled from time to time due to lack of petitions and meeting times may be
changed due to lack of public hearing petitions.

DeKalb County Department of Development Services
Planning, Building & GIS
301 S. Union St.
Auburn, IN 46706
Ph: 260-925-1923
Fax: 260-927-4791

FOR OFFICE USE ONLY:
File Number: 25-38
Date Application Filed: 11/20/2025
Fee Paid: CC
1500025

Application for DEVELOPMENT PLAN/DEVELOPMENT PLAN AMENDMENT (Section 9.08)

This application must be completed and filed with the DeKalb County Department of Development Services in accordance with the meeting schedule.

APPLICANT INFORMATION

Applicant's Name: Leroy Graber

Address: 7735 CR 28 Butler, Indiana 46721

Telephone Number: (260) 705-5229

E-Mail: leroy@landmarkroofingexperts.com

OWNER INFORMATION (if different from applicant information)

Owner's Name: same as above

Address: _____

Telephone Number: _____

E-Mail: _____

REPRESENTATIVE INFORMATION (if different from applicant information)

Representative: Brian Moench, P.E. - Moench Engineering, P.C.

Address: 4000 Clarks Creek Road Plainfield, Indiana 46168

Telephone Number: (317) 837-2767

E-Mail: bmoench@moencheng.com

Legal Ad Payment & Public Hearing Notifications: Applicant Owner Representative X

Zoning Classification of Property: A2

Acreage of Property: 48.28 acres (GIS)

Overlay District: Local District: 012 - State District: 022 Stafford Township

Address or Parcel # of Property: 7735 CR 8 Butler, Indiana 46721

12-08-05-300-017.000-022

Legal Description of Property Affected: Warranty Deed 108047

Description of Present Use:

Personal Livestock Farm.

Description of Proposed Project (use multiple pages if necessary):

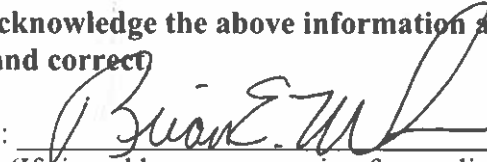
Same as present use with the addition of a new barn.

***Note: approvals are valid for a period of three years. If an Improvement Location and Building Permit have not been issued within the three years, the approval is rescinded. Substantial**

completion shall occur within seven years and one, one year extension may be granted by the Zoning Administrator. See Section 9.08 H

By my signature, I acknowledge the above information and attached exhibits, to my knowledge and belief, are true and correct

Applicant's Signature:



(If signed by representative for applicant, state capacity)

19 Nov 25
Date

This Staff Report is prepared by the DeKalb County Planning Department to provide information to the Plan Commission to assist them in making a decision on this Application. It may also be useful to members of the public interested in this Application.

SUMMARY FACTS:

PETITIONER: Leroy Graber
SUBJECT SITE: 7735 County Road 28, Butler
REQUEST: Development Plan
PURPOSE: A confined feeding operation for approximately 82,000 chicken & associated accessory uses
EXISTING ZONING: A2 – Agricultural
SURROUNDING LAND North: Single Family Residential (A2)
USES AND ZONING: South: Farm Ground (A2)
East: Farm Ground (A2)
West: Farm Ground (A2)

ANALYSIS:

9.08: Development Plan: Purpose and Intent: The purpose to outline the procedure employed by the Plan Commission when considering a petition for the approval of a Development Plan. Further, the intent of the Development Plan section is to ensure that the statutory requirements established in the Indiana Code for the consideration of a Development Plan petition are met.

Compliance with the Development Standards:

Article 2, Section 2.05: A2 District Permitted Uses:

- Confined Feeding Operation

Article 2, Section 2.30: C2 District Development Standards:

- Minimum Front Yard Setback: 50 feet (240 feet proposed)
- Minimum Side Yard Setback: 30 feet (43 feet – north & 250 feet – south proposed)
- Minimum Rear Yard Setback: 30 feet (130 feet proposed)
- Maximum Impervious Surface: 20% (19.1% proposed)
- Maximum Height: 35 feet (22 feet proposed)

Article 5, Section 5.10: Entrance Drive:

- Utilize existing driveway

Article 5, Section 5.11: Environmental Standards:

- A Stormwater Pollution Prevention Plan (SWPPP) approval from the DeKalb County Soil & Water Conservation District is required prior to any permits being issued.

Article 5, Section 5.12: Fence/Wall Standards:

- N/A

Article 5, Section 5.21: Height Standards:

- Meets Standards

Article 5, Section 5.23: Landscaping, General:

- N/A

Article 5, Section 5.30: Lighting Standards:

- N/A

Article 5, Section 5.33: Outdoor Storage: Non-residential Districts:

- N/A

Article 5, Section 5.38-5.39: Parking Standards:

- N/A

Article 5, Section 5.43: Setback Standards:

- Meets Standards (See Section 2.30 above)

Article 5, Section 5.44: Sewer/Water Standards:

- No Septic System proposed
- Water supplied through private well on site

Article 5, Section 5.47: Sign Standards:

- No signage plans submitted.

JURISDICTIONAL FINDINGS:

The Petitioner has complied with the rules and regulations of the Plan Commission in filing appropriate documents:

1. Application completed and filed on **November 20, 2025**
2. Legal notice published in The Star on **December 5, 2025** and Affidavit given to staff.
3. Certificate of mailing notices sent and receipts given to staff.
4. Letter from the County Board of Health, dated **December 8, 2025**
5. Letter from County Highway dated **December 2, 2025**
6. Letter from the DeKalb County Soil & Water Conservation District, dated **See Condition**
7. Letter from the Drainage Board, dated **See Condition**
8. Airport Board report, if applicable **not applicable**
9. The real estate being developed is in Zoning District **A2 – Agricultural**, which permits the requested development.

PROPOSED FINDINGS OF FACT:

When considering approval of a Development Plan, the DeKalb County Plan Commission shall — under Section 9.08 G(6 & 7) of the DeKalb County Unified Development Ordinance — determine the following:

1. Does the Development Plan meet the minimum design standards listed in Section 9.08: Development Plan?
Yes, all minimum design standards are met. See Staff Report and letters from the DeKalb County Highway Dept. & Health Dept. The Stormwater Pollution Prevention Plan approval by the Soil Water Conservation District and Drainage Plan approval by the Drainage Board are required prior to the issuance of any permits.
2. Is the Development Plan consistent with the Comprehensive Plan?
Yes, commercial agriculture development is encouraged in areas zoned appropriately.
3. Does the Development Plan comply with the standards of this Unified Development Ordinance?
Yes, all Development Standards of the Unified Development Ordinance are in compliance with the Development Plan. See Staff Report and letters from the DeKalb County Highway Dept. & Health Dept. The Stormwater Pollution Prevention Plan approval by the Soil Water Conservation District and Drainage Plan approval by the Drainage Board are required prior to the issuance of any permits.

PLANNING STAFF RECOMMENDATIONS/COMMENTS:

Staff is recommending approval of the Development Plan and recommends the following conditions:

Conditions of Approval

1. The Plan Commission retains continuing jurisdiction of this Development Plan to assure compliance with all terms and conditions and/or impose additional conditions deemed necessary for health and safety.
2. This Development Plan is approved for a confined feeding operation for approximately 82,000 chicken & associated accessory uses.
3. Development to commence within three (3) year and be completed within seven (7) years. See UDO Section 9.08 H.
4. No Certificate of Occupancy or Certificate of Completion shall be issued until the applicant files written evidence of compliance with any conditions of the DeKalb County Board of Health, DeKalb County Highway Dept., DeKalb County Drainage Board or DeKalb County Surveyor, DeKalb County Airport, DeKalb County Soil & Water Conservation District, or other agency as applicable. And further, where applicable, file written evidence of compliance with Federal or State agencies where identified in the findings or conditions. The Zoning Administrator to determine when conditions have been met.
5. The Stormwater Pollution Prevention Plan approval by the Soil Water Conservation District and Drainage Plan approval by the Drainage Board are required prior to the issuance of any permits.

Confined Feeding Operation
7735 CR 28
Butler, IN 46721

Owner:

Leroy Graber
7735 CR 28
Butler, IN 46721
260-705-5229

Civil Engineer:

Moench Engineering, P.C.
4000 Clarks Creek Road
Plainfield, Indiana 46168
Phone: (317) 837-2767
Fax: (317) 837-7266

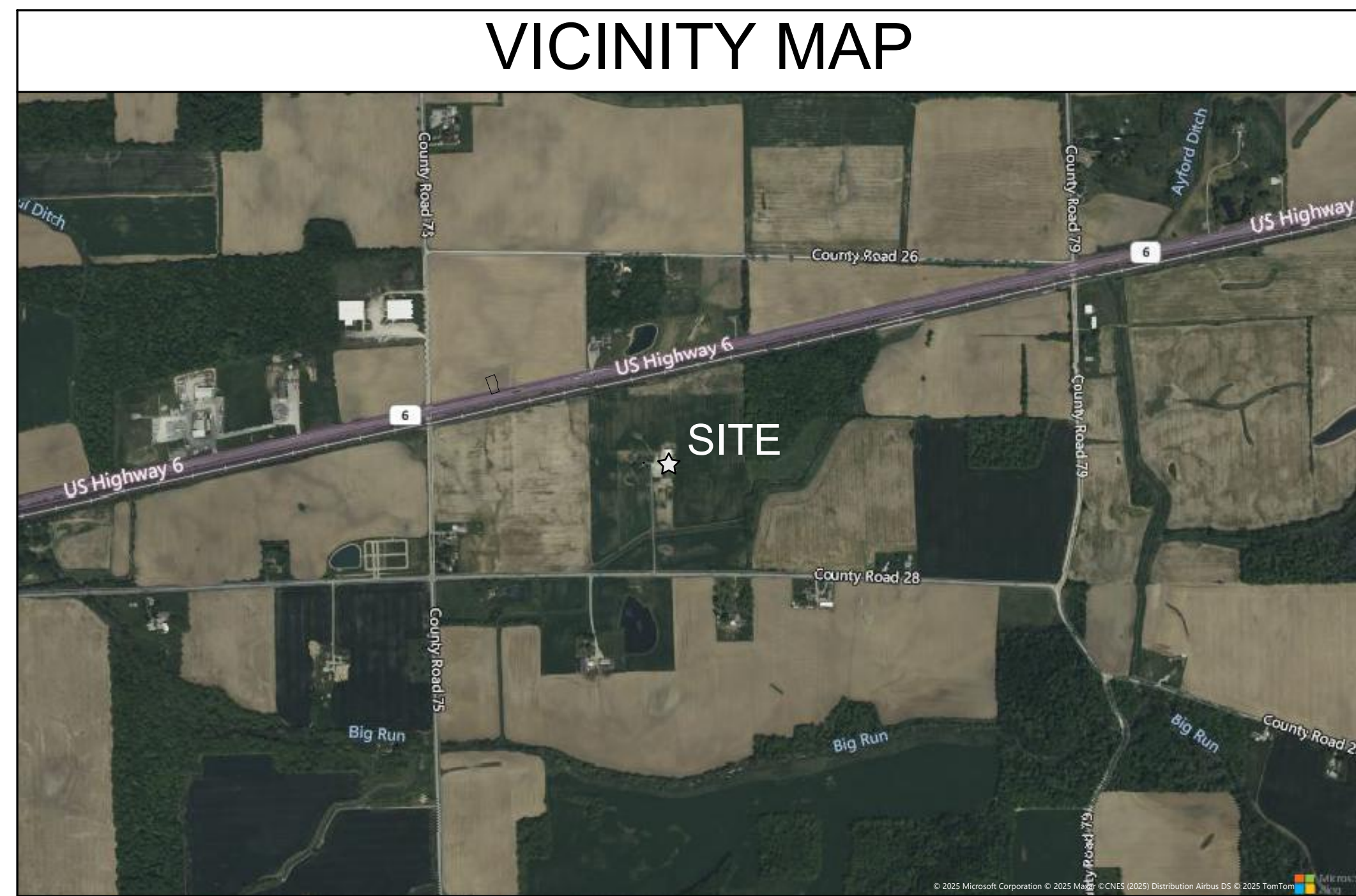
Jurisdictional Contact:

DeKalb County Dept. of Development Svcs.
301 S. Union St.
Auburn, IN 46706
260-925-1923

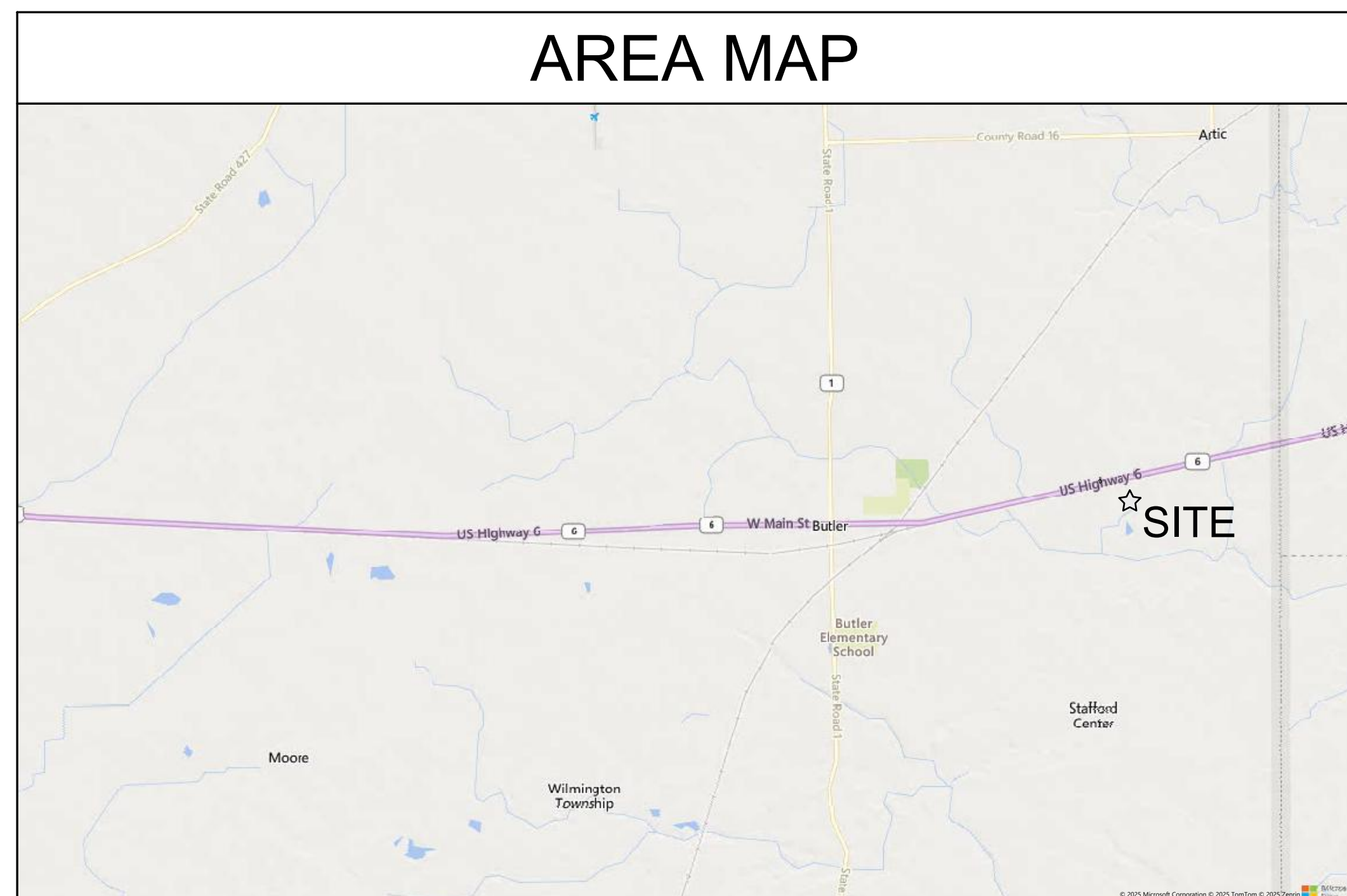
INDEX OF DRAWINGS

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VICINITY MAP

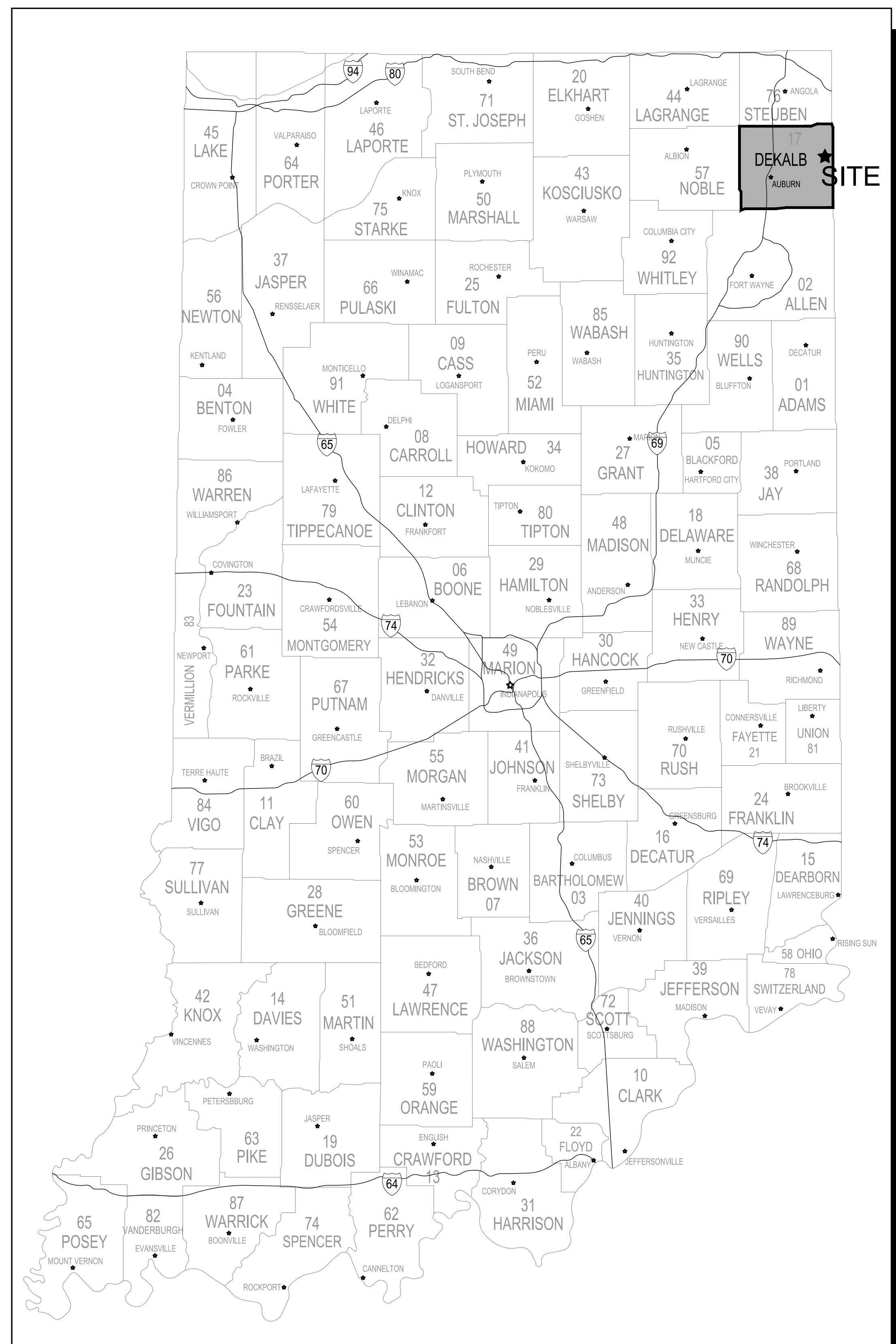


AREA MAP



SUBJECT SITE:

SITE LOCATED IN STAFFORD TOWNSHIP
DeKALB COUNTY, INDIANA
41° 25' 58" N & 84° 49' 33" W



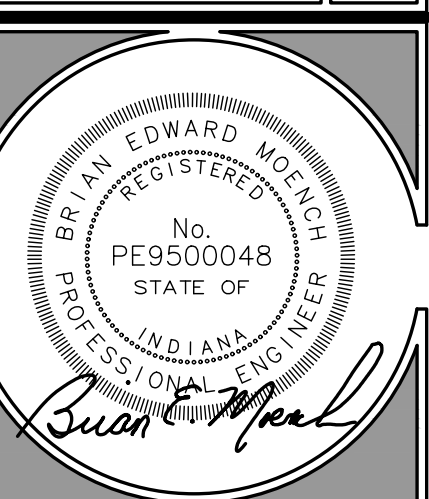
**Moench
Engineering**
200 Clarks Creek Road
Plainfield, Indiana 46168
(317) 837-2767

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Confined Feeding Operation
7735 CR 28

Buter, IN 46721

COVER SHEET I



REVISIONS:

[illegible]

DRAWN BY: JBF

CHECKED BY: BEM

PROJECT #:	25220
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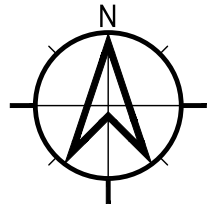
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SHEET NUMBER:

C000



OVERALL SITE PLAN
SCALE: 1" = 100'



SITE ANALYSIS TABLE	
ZONING	A2
TOTAL PARCEL	48.28 ACRES
TOTAL PARKING REQUIRED	3 + 1 per (10) Employees
PARKING RATIO	1 per Employee
STANDARD PARKING SPACES (10'x20')	4
HANDICAPPED SPACES	0
TOTAL SPACES PROVIDED	4
BUILDING SQUARE FOOTAGE	
NEW BARN	8960 S.F.

BENCH MARK DATA (MD0340):

DESCRIBED BY COAST AND GEODETIC SURVEY 1962 2.5 MI E FROM BUTLER, ABOUT 2.5 MILES E ALONG NO. 6 U.S. HWY. FROM ITS INTERSECTION WITH NO. 1 INDIANA HWY. IN HEART OF BUTLER, ABOUT 67 YARDS E OF 24-INCH CONCRETE PIPE CULVERT UNDER THE HIGHWAY, 50-1/2 FEET NE OF NO. 3561-W RAILROAD TRAFFIC LIGHT, 47 FEET S OF CENTER LINE OF 4-FOOT HWY. PAVEMENT, 0.5 FOOT HIGHER THAN THE SAME, 46 FEET N OF N RAIL OF NEW YORK CENTRAL RAILROAD DOUBLE TRACKS, ABOUT 6 FEET LOWER THAN TOP OF SAME, 2 FEET E OF A STEEL WITNESS POST, AND FLUSH WITH THE GROUND.

BM ELEVATION (NAVD 88) = 850.2'

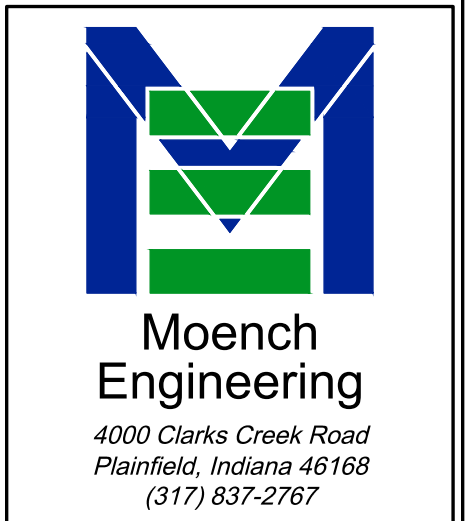
LEGAL DESCRIPTION

Part of the East half (1/2) of the Southwest Quarter (1/4) of Section Five (5), Township Thirty-four (34) North, Range Fifteen (15) East, Stafford Civil Township, in DeKalb County, the State of Indiana and being more particularly described as follows:

Beginning at a Harrison monument marking the Southeast corner of the Southwest Quarter (1/4) of said Section 5; thence North 89 degrees 12 minutes 55 seconds West (assumed bearing and basis of all bearings to follow in this description), a distance of 1304.10 feet along the South line of said Southwest Quarter (1/4) to a 5/8 inch rebar with cap marked "D.K. McConnell LS 20100022" marking the Southwest corner of the East Half (1/2) of said Southwest Quarter (1/4); thence North 00 degrees 14 minutes 20 seconds East, a distance of 1472.75 feet along the West line of said East Half (1/2) of the Southwest Quarter (1/4) to a 5/8 inch rebar with cap marked "D.K. McConnell LS 20100022" on the South right-of-way line of the Conrail Railroad (formerly the Lake Shore and Michigan Southern Railroad); thence North 78 degrees 50 minutes 00 seconds East, a distance of 1333.72 feet along said South right-of-way line to a 1/2 inch rebar on the East line of said Southwest Quarter (1/4); thence South 00 degrees 20 minutes 55 seconds West, a distance of 1748.93 feet along said East line of the Southwest Quarter (1/4) to the Point of Beginning, containing 48.28 acres, more or less.

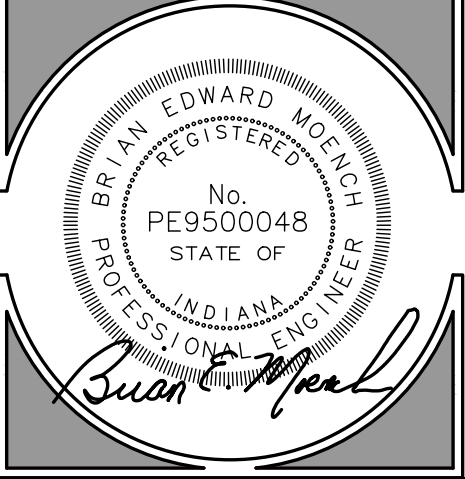
LINETYPE LEGEND:	
(SF)	= SILT FENCE
X	= BARB WIRE FENCE
o	= CHAINLINK FENCE
H	= WOOD FENCE
W	= WATER LINE
STRM	= STORM SEWER LINE
SAN	= SANITARY SEWER LINE
GAS	= GAS LINE
UGE	= UNDERGROUND ELECTRIC LINE
OHE	= OVERHEAD ELECTRIC LINE
COMM	= COMMUNICATION LINE
T	= TELEPHONE LINE
UTELE	= UNDERGROUND TELEPHONE LINE
FO	= FIBER OPTIC LINE
W	= FIRE DEPARTMENT WATER SUPPLY
35' ESMT	= 35' EASEMENT LINE
30' ESMT	= 30' EASEMENT LINE
25' ESMT	= 25' EASEMENT LINE
20' ESMT	= 20' EASEMENT LINE
15' ESMT	= 15' EASEMENT LINE
10' ESMT	= 10' EASEMENT LINE
5' ESMT	= 5' EASEMENT LINE
ESMT	= EASEMENT LINE
000'	= SWALE LINE
000'	= EDGE OF WATER
35' SETBK	= 35' SETBACK LINE
30' SETBK	= 30' SETBACK LINE
25' SETBK	= 25' SETBACK LINE
20' SETBK	= 20' SETBACK LINE
15' SETBK	= 15' SETBACK LINE
10' SETBK	= 10' SETBACK LINE
5' SETBK	= 5' SETBACK LINE
SETBK	= SETBACK LINE
ROW	= RIGHT-OF-WAY LINE
	= PROPERTY BOUNDARY
UD	= SWALE UNDERDRAIN
CABLE	= CABLE TV LINE
FL>	= FLOW LINE

SYMBOL LEGEND:	
◄ = STORM SEWER END SECTION	741.25 = NEW GRADE ELEVATION
— = SANITARY SEWER CLEANOUT	x741.25 = EXISTING GRADE ELEVATION
C.O. = CLEANOUT	— = STRAW BALE DAM
⊙ = MANHOLE	— = ROCK DAM
⊕ = CATCH BASIN	— = SIGN
⊕ = CATCH BASIN	STOP = STOP SIGN
⊕ = CURB INLET	— = HANDICAP SIGN
⊕ = FIRE HYDRANT	ENTER ONLY = ENTER ONLY SIGN
⊕ = PRESSURE RELIEF VALVE	EXIT ONLY = EXIT ONLY SIGN
⊕ = WATER VALVE	DO NOT ENTER SIGN
⊕ = WATER WELL	— = EVERGREEN TREE
⊕ = GAS VALVE	— = DECIDUOUS TREE
⊕ = LIGHT POLE	— = BUSH
⊕ = UTILITY POLE	— = TEMPORARY CONSTRUCTION ENTRANCE
⊕ = PROPERTY CORNER	— = GRASS PERMANENT SEEDING
⊕ = IRF = IRON ROD FOUND	— = GRAZING AREA
⊕ = RBF = REBAR FOUND	
⊕ = SURVEY POINT (SECTION CORNER)	
⊕ = BENCHMARK	
⊕ = SOIL BORING	
⊕ = EROSION CONTROL BLANKET ON ALL SLOPES 3:1 OR GREATER	



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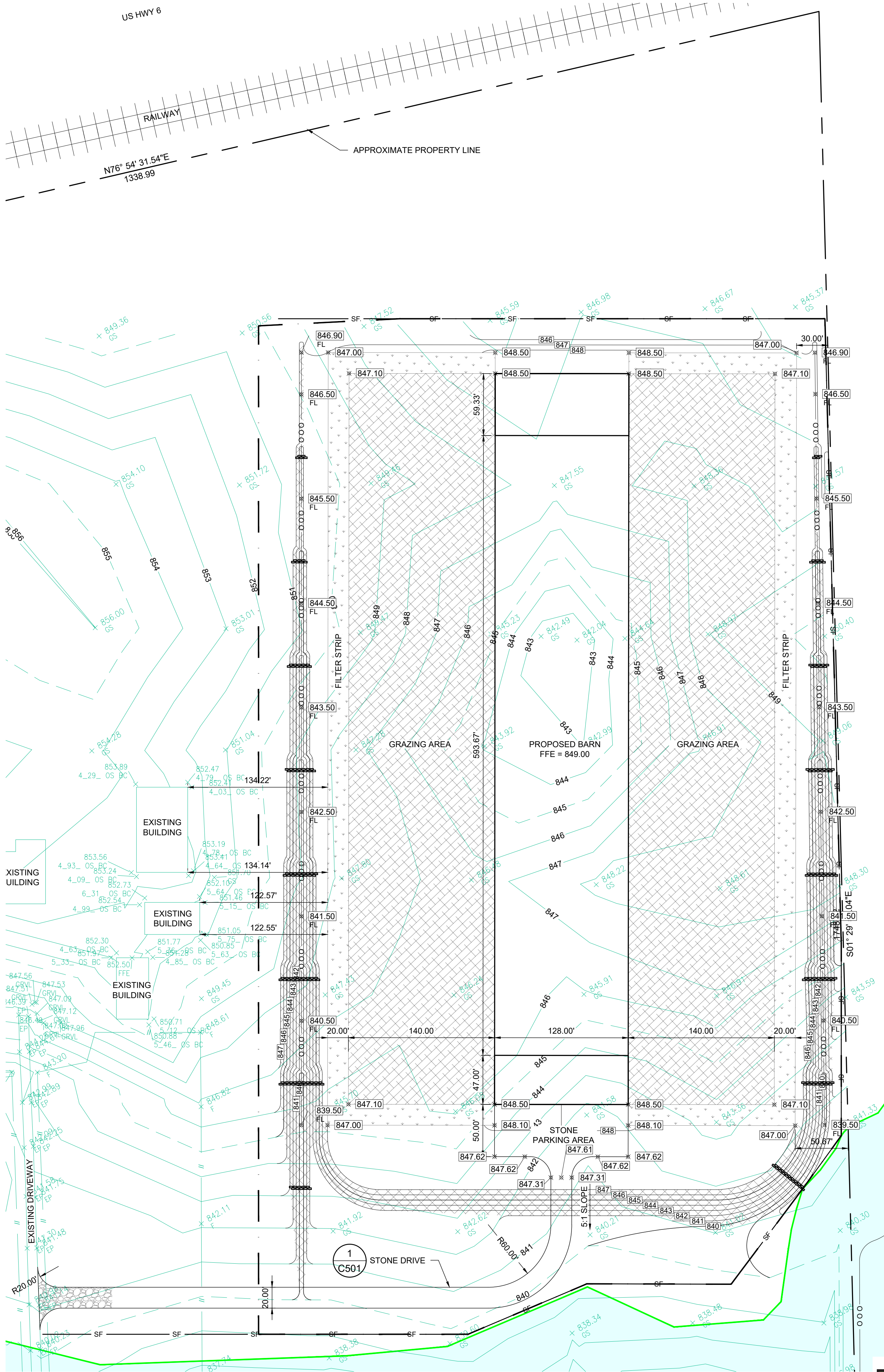
Confined Feeding Operation
7735 CR 28
Buter, IN 46721
OVERALL SITE PLAN



REVISIONS:	
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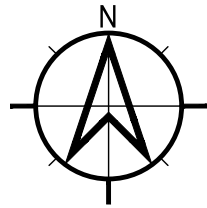
DRAWN BY:	JBF
CHECKED BY:	BEM
PROJECT #:	25220
DATE:	11/10/25
SHEET NUMBER:	

C101



SITE DEVELOPMENT PLAN

SCALE: 1" = 60'



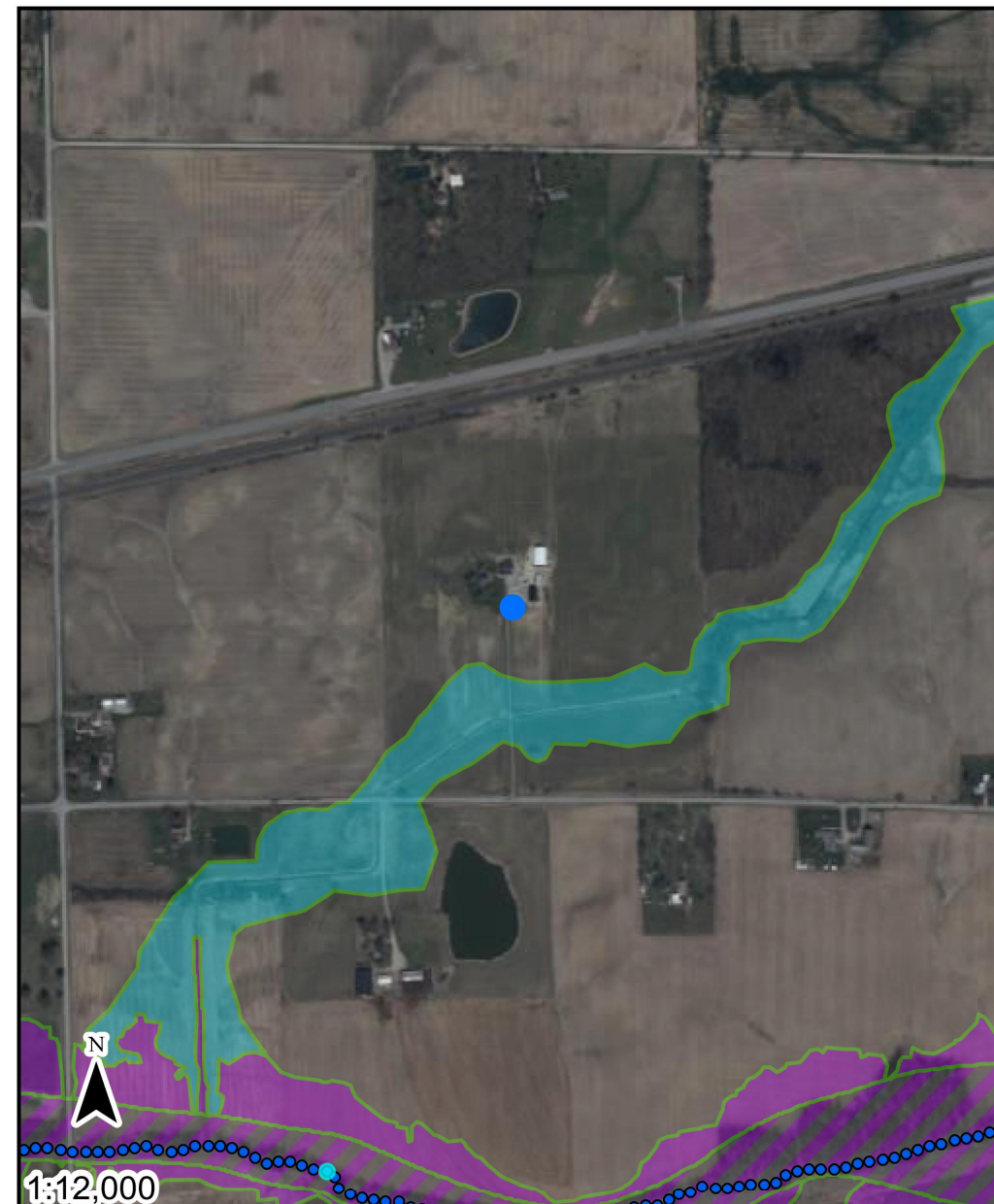
FLOOD ZONE DESIGNATION:

THIS LOT LIES ENTIRELY IN FLOOD HAZARD ZONE "X" AS SCALES FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR:

DeKALB COUNTY, INDIANA
COMMUNITY NAME: DeKALB COUNTY
COMMUNITY NUMBER: 180044
PANEL NUMBER: C0190E
DATED: SEPTEMBER 29, 2006



Floodplain Analysis & Regulatory Assessment (FARA)



The information provided below is based on the point of interest shown in the map above.

County: **Dekalb**

Approximate Ground Elevation: **846.3 feet (NAVD88)**

Stream Name: **Big Run**

Base Flood Elevation: **835.5 Feet (NAVD88)**

Drainage Area: **Not Available**

Best Available Flood Hazard Zone: **Not Mapped**

National Flood Hazard Zone: **Not Mapped**

Is a Flood Control Act permit from the DNR needed for this location? **See following pages**

Is a local floodplain permit needed for this location? **Contact your local Floodplain Administrator-**

Floodplain Administrator: **Christopher Gaumer, Director of Planning**

Community Jurisdiction: **Dekalb County, County proper**

Phone: **(260) 925-1923**

Email: **cgaumer@co.dekalb.in.us**

US Army Corps of Engineers District: **Detroit**

Date Generated: 10/22/2025

SITE NOTES:

GENERAL NOTES:

1. REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. THE SECTIONS BELOW FOR VARIOUS ITEMS ARE TO CLARIFY THE INTENT OF THE REQUIREMENTS FOR THIS PROJECT. PLEASE NOTE THAT OTHER SECTIONS OF THE INDOT STANDARD SPECIFICATIONS MAY ALSO BE APPLICABLE.
2. ALL RADII SHALL BE 5 FOOT UNLESS NOTED OTHERWISE ON PLANS.
3. CONTRACTOR TO VERIFY EXACT LOCATION AND INVERT OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
4. STORM SEWER PIPE OF OTHER MATERIAL OR MATERIAL NOT MEETING THESE SPECIFICATIONS SHALL REQUIRE THE PRIOR WRITTEN APPROVAL OF THE ENGINEER.
5. THE CONTRACTOR SHALL SUBMIT INFORMATION TO THE APPROPRIATE JURISDICTIONAL CONTACT SHOWING CONFORMANCE WITH THESE SPECIFICATIONS UPON REQUEST.

PAVEMENT CONSTRUCTION:

- A) PREPARE THE SUBGRADE IN ACCORDANCE WITH INDOT SECTION 207. NO TRAFFIC WILL BE PERMITTED ON THE PREPARED SUBGRADE PRIOR TO PAVING.
- B) BITUMINOUS PAVEMENT IN ACCORDANCE WITH INDOT SECTION 403.
- C) FINISHING EARTH GRADED SHOULDERS, DITCHES AND SLOPES IN ACCORDANCE WITH INDOT SECTION 208.

CONCRETE PAVEMENT AND WALKS:

1. SEE DETAIL FOR TYPE AND DETAILS.
 2. CONCRETE SHALL BE READY MIXED PORTLAND CEMENT AND WATER CONFORMING TO ASTM C-150. AGGREGATES SHALL CONFORM TO ASTM C-33. COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE 4000 P.S.I. WHERE REQUIRED, REINFORCEMENT SHALL BE WELDED STEEL WIRE FABRIC CONFORMING TO ASTM A-185.
 3. ALL EXTERIOR CONCRETE SHALL CONTAIN 6% ± 1% AIR ENTRAINMENT.
- APPLICATION:**
- A) PLACE CONCRETE ONLY ON A MOIST, COMPACT SUBGRADE OR BASE FREE FROM LOOSE MATERIAL. PLACE NO CONCRETE ON MUDDY OR FROZEN SUBGRADE IN ACCORDANCE WITH INDOT SECTION 604 AND 605.
 - B) CONCRETE SHALL BE DEPOSITED SO AS TO REQUIRE AS LITTLE REHANDLING AS PRACTICAL. WHEN CONCRETE IS TO BE PLACED AT AN ATMOSPHERIC TEMPERATURE OF 35 DEGREES OR LESS, PARAGRAPH 702.10 OF THE INDOT SPECIFICATIONS SHALL APPLY.
 - C) EXCEPT AS OTHERWISE SPECIFIED, CURE ALL CONCRETE BY ONE OF THE METHODS DESCRIBED IN INDOT SECTION 501.17.

GRADING NOTES:

GENERAL GRADE NOTES:

1. REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. THE SECTION BELOW FOR VARIOUS ITEMS ARE TO CLARIFY THE INTENT OF THE REQUIREMENTS FOR THIS PROJECT. PLEASE NOTE THAT OTHER SECTIONS OF THE INDOT STANDARD SPECIFICATIONS MAY ALSO BE APPLICABLE.
2. FILL MATERIAL SHALL CONSIST OF EARTH OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. EARTH SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES AND LARGE ROCKS. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING COMPACTION. PROPER MOISTURE CONTENT OF FILL MATERIAL WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557, FIELD COMPACTIONING TEST SHALL BE RUN ON EACH LIFT, IN FILL SECTIONS, AND THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.
3. MAXIMUM LAWN SLOPE IS 3:1.
4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA EXISTING UTILITY STRUCTURES ARE SHOWN HERE IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
5. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
6. ALL EXISTING MANHOLE CASTINGS TO BE ADJUSTED TO FINISH GRADE.
7. COMPACT "B" BORROW BACK FILL REQ'D. OVER ALL UTILITIES IN PAVED AREAS.



Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BixB	Blount loam, 2 to 6 percent slopes	22.3	47.7%
GnB2	Glymwood loam, 2 to 6 percent slopes, eroded	4.6	9.9%
MoC2	Morley silt loam, 6 to 12 percent slopes, eroded	3.7	8.0%
MrC3	Morley silty clay loam, 6 to 12 percent slopes, severely eroded	3.0	6.5%
Pe	Pewamo silty clay	13.1	27.9%
Totals for Area of Interest		46.8	100.0%

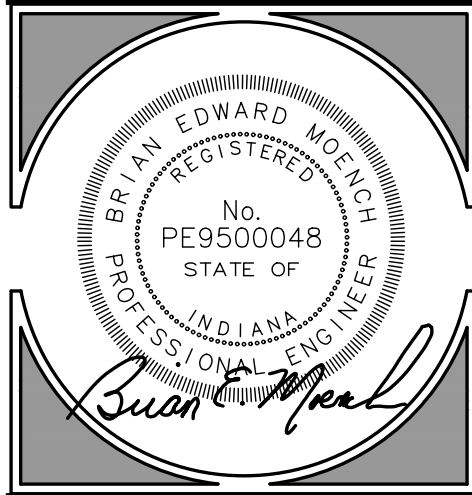


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Confined Feeding Operation

7735 CR 28
Buter, IN 46721

SITE DEVELOPMENT PLAN



REVISIONS:

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DRAWN BY: JBF
CHECKED BY: BEM
PROJECT #: 25220
DATE: 11/10/25
SHEET NUMBER:

C201



SEASONAL SOIL PROTECTION CHART												
STABILIZATION PRACTICE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING		A			*// / / / / / / / *			*// / / / / / *				
DORMANT SEEDING	B									B		
TEMPORARY SEEDING		C	E			*// / / / / / / *	D					
SODDING		F**				*// / / / / / / *						
MULCHING	G											

*// / = IRRIGATION NEEDED DURING JUNE, JULY, AUGUST AND/OR SEPTEMBER
** = IRRIGATION NEEDED FOR 2 WEEKS AFTER SUPPLYING SOD

A = Kentucky Bluegrass 100 lbs / acre; Creeping Red Fescue 100 lbs / acre; plus 2 tons straw mulch / acre, or add Annual Ryegrass 10 lbs / acre. Fertilize as recommended by soil test. If testing is not done, apply 400-600 lbs / acre of 12-12-12 analysis, or equal, fertilizer.

B = Kentucky Bluegrass 120 lbs / acre; Creeping Red Fescue 120 lbs / acre; plus 2 tons straw mulch / acre, or add Annual Ryegrass 30 lbs / acre. Fertilize as recommended by soil test. If testing is not done, apply 400-600 lbs / acre of 12-12-12 analysis, or equal, fertilizer.

C = Spring Oats at 3 bushels / acre. Fertilize as recommended by soil test. If testing is not done, apply 400-600 lbs / acre of 12-12-12 analysis, or equal, fertilizer.

D = Wheat or Rye at 2 bushels / acre. Fertilize as recommended by soil test. If testing is not done, apply 400-600 lbs / acre of 12-12-12 analysis, or equal, fertilizer.

E = Annual Ryegrass 40 lbs / acre (1 lb / 1000 sq. ft.). Fertilize as recommended by soil test. If testing is not done, apply 400-600 lbs / acre of 12-12-12 analysis, or equal, fertilizer.

F = Sod

G = Straw, Mulch 2 tons / acre.

EROSION CONTROL NOTES:

SOIL EROSION CONTROL SUMMARY:

1. CONTRACTOR SHALL INSTALL SODDING, INLET PROTECTION, AND FILTERS AS SHOWN.
2. MASS GRADE THE SITE (SIDES OF SWALES, MOUNDS AND PONDS TO BE SODDED OR SEEDED AND MULCHED IMMEDIATELY UPON COMPLETION). TEMPORARY SEEDING SHALL BE RECOMMENDED FOR ALL SWALES AND DISTURBED AREAS THAT CANNOT BE FINAL SEEDING WITHIN A TIME PERIOD THAT WILL PREVENT SOIL EROSION. FOR TEMPORARY SEEDING THE CONTRACTOR SHALL UTILIZE A FAST GROWING SEED OF EITHER OATS, ANNUAL RYE GRASS, WHEAT OR RYE DEPENDING UPON TIME OF YEAR. DISTURBED AREAS SHOULD BE KEPT TO A MINIMUM AT ALL TIMES.
3. CONTRACTOR SHALL CONTROL MUD ACCUMULATION ON ALL STREETS SURROUNDING THE PROJECT BY INSTALLING STONE SURFACE AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC LEAVES THE SITE. DUST SHALL BE KEPT TO A MINIMUM BY UTILIZING SPRINKLING, CALCIUM CHLORIDE, VEGETATIVE COVER, SPRAY ON ADDITIVES OR OTHER APPROVED METHODS.
4. MAINTAIN ALL FILTERS DURING CONSTRUCTION TO PREVENT ANY BLOCKAGES FROM ACCUMULATED SEDIMENT. ADDITIONAL SEEDING MAY BE REQUIRED DURING CONSTRUCTION AS SPECIFIED BY ENGINEER OR SOIL CONSERVATION SERVICE. RIPPAP SHALL BE PLACED IN AREAS OF HIGH VELOCITY STREAM FLOW (MINIMUM SIZE 1/3 CU FT.). PAYMENT FOR ADDITIONAL RIPPAP NOT SHOWN ON PLANS AND SEEDING SHALL BE ON A UNIT BASIS.
5. CONTRACTOR SHALL INSTALL ALL STORM SEWER INLET FILTERS AS STORM SEWER SYSTEM IS INSTALLED.
6. ALL PROPOSED STREET AREAS TO BE PAVED AS SOON AS POSSIBLE AFTER SUBGRADE IS PREPARED.
7. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS ONLY WHEN THERE IS SUFFICIENT GROWTH OF GRASS COVER TO PREVENT FURTHER EROSION.
8. ALL SWALES SHALL BE SEEDED AND SODDED (AS INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN) IMMEDIATELY AFTER FINAL GRADING.
9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE INDIANA HANDBOOK FOR EROSION CONTROL IN DEVELOPING AREAS, MOST RECENT EDITION.

MAINTENANCE:

INSPECT PERIODICALLY, ESPECIALLY AFTER STORM EVENTS, UNTIL THE STAND IS SUCCESSFULLY ESTABLISHED. (CHARACTERISTICS OF A SUCCESSFUL STAND INCLUDE: UNIFORM DENSITY WITH THICK, GREEN SEEDINGS; UNIFORM DENSITY WITH NURSERY PLANTS, LEGUMES, AND GRASSES WELL INTER-MIXED, GREEN LEAVES; AND THE PERENNIALS REMAINING GREEN THROUGHOUT THE SUMMER, AT LEAST AT THE PLANT BASE).

PLAN TO ADD FERTILIZER THE FOLLOWING GROWING SEASON ACCORDING TO SOIL TEST RECOMMENDATIONS.

REPAIR DAMAGED, BARE, OR SPARSE AREAS BY FILLING ANY GULLIES, RE-FERTILIZING, OROVER- OR RE-SEEDING, AND MULCHING.

IF PLANT COVER IS SPARSE OR PATCHY, REVIEW THE PLANT MATERIALS CHOSEN, SOIL FERTILITY, MOISTURE CONDITION, AND MULCHING AFTER RE-PREPARING THE SEEDED.

IF VEGETATION FAILS TO GROW, CONSIDER SOIL TESTING TO DETERMINE ADEQUATE OR NUTRIENT DEFICIENCY PROBLEMS. (CONTACT YOUR SWCD OR COOPERATIVE EXTENSION OFFICE FOR ASSISTANCE.)

IF ADDITIONAL FERTILIZATION IS NEEDED TO GET A SATISFACTORY STAND, DO SO ACCORDING TO SOIL TEST RECOMMENDATIONS.

EROSION CONTROL NOTES:

PRIOR TO ANY WORK BEING DONE, A TEMPORARY CONSTRUCTION ENTRANCE AND SILT FENCING SHALL BE INSTALLED.

AFTER COMPLETION OF A STORM STRUCTURE, THE CURB INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY.

UPON COMPLETION OF SWALES AND SIDE SLOPES, CONTRACTOR SHALL INSTALL THE EROSION CONTROL BLANKETS.

ALL AREAS NOT DENOTING PERMANENT SEEDING OR FIBER BLANKETS SHALL BE TEMPORARILY SEEDED.

THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS CLEAR OF DIRT AND DEBRIS.


ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY INSPECTOR AS CONDITIONS WARRANT.

EROSION PROTECTION DURING CONSTRUCTION AND SEEDING:

1. THE CONTRACTOR SHALL PROVIDE ADEQUATE EROSION PROTECTION MEASURING DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO:
 - A) SILT FENCING
 - B) MULCH AND SEEDING
 - C) SOIL STABILIZATION FABRIC
2. DETAILS AND PLACEMENT SPECIFICATION FOR ABOVE ITEMS ARE AVAILABLE ON REQUEST FROM THE ENGINEER.
3. ALL CONSTRUCTION AREAS ARE TO BE SEEDED IMMEDIATELY FOLLOWING GRADING.
4. WOOD CELLULOSE FIBER, STRAW OR MULCH SHALL BE APPLIED AT A RATE OF 3/4 TONS PER ACRE AND SHALL BE REQUIRED FOR ALL SWALE, LAKE SLOPE AND STREET SEEDING.

RESPONSIBLE PARTY FOR EROSION CONTROL	
NAME:	LEROY GRABER
COMPANY:	- - -
ADDRESS:	7735 CR 28 BUTLER, IN 46721
PHONE:	206-705-5229

NOTE:
EXISTING DRIVEWAY TO BE USED FOR CONSTRUCTION ENTRANCE.
(SEE SHEET C101 - OVERALL SITE PLAN)



Moench Engineering
4000 Clarks Creek Road
Plainfield, Indiana 46168
(317) 837-2767

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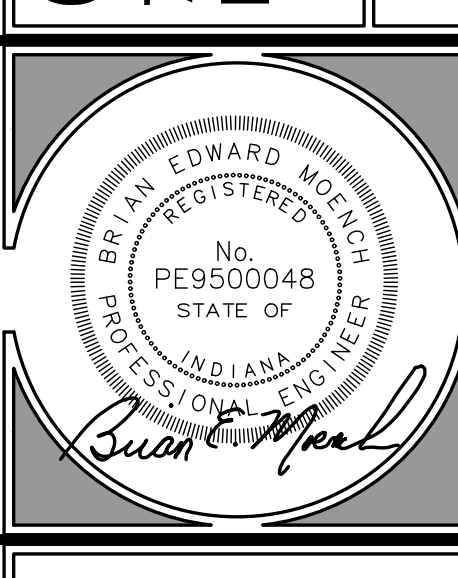
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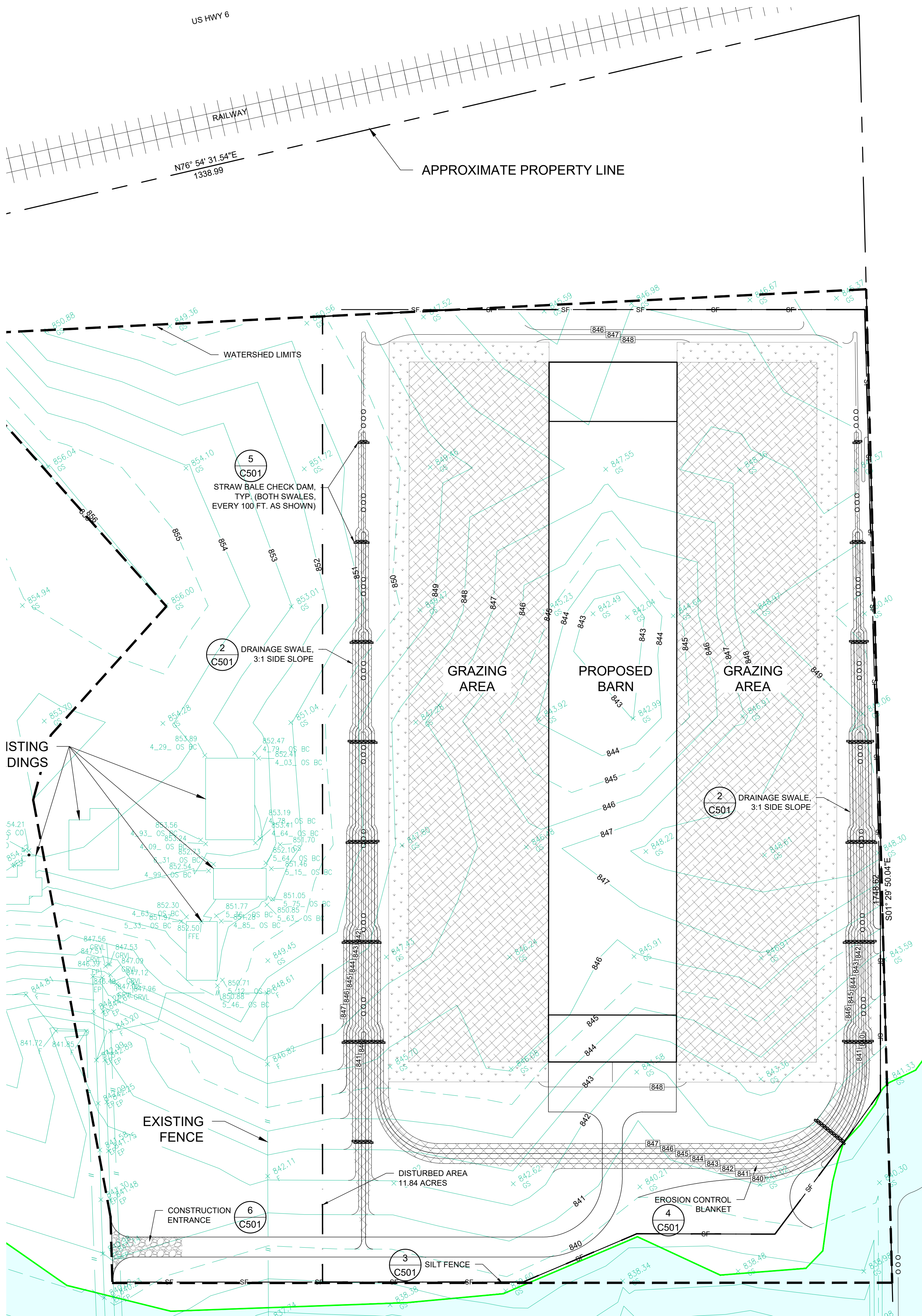
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EROSION CONTROL PLAN



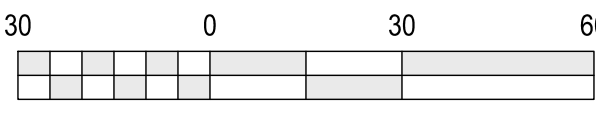
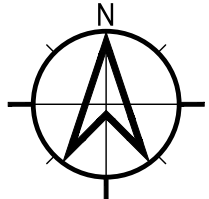
REVISIONS:		
0	ISSUE FOR PERMIT	11/24/2025

DRAWN BY:	JBF
CHECKED BY:	BEM
PROJECT #:	25220
DATE:	11/10/25
SHEET NUMBER:	C302



STORM WATER POLLUTION PREVENTION PLAN

SCALE: 1" = 30'



GRAPHIC SCALE: 1" = 30'

Construction Storm Water General Permit Index Sheet

SECTION	TITLE	SHEET
A1	Index of the location of required plan elements in the construction plan	C303
A2	A vicinity map depicting the project site location in relationship to recognizable local landmarks, towns, and major roads	C000
A3	Narrative of the nature and purpose of the project	C303
A4	Latitude and longitude to the nearest fifteen (15) seconds	C000
A5	Legal description of the project site	C101
A6	11x17-inch plat showing building lot numbers/ boundaries and road layout/names	C000
A7	Boundaries of the one hundred (100) year flood plains, floodway fringes, and floodways	C201
A8	Land use of all adjacent properties	C303
A9	Identification of a U.S. EPA approved or established TMDL	C303
A10	Name(s) of the receiving water(s)	C303
A11	Identification of discharges to a water on the current 303(d) list of impaired waters and the pollutant(s) for which it is impaired	C303
A12	Soils map of the predominate soil types	C201
A13	Identification and location of all known wetlands, lakes, and water courses on or adjacent to the project site (construction plan, existing site layout)	C201
A14	Identification of any other state or federal water quality permits or authorizations that are required for construction activities	C303
A15	Identification and delineation of existing cover, including natural buffers	C201
A16	Existing site topography at an interval appropriate to indicate drainage patterns	C201
A17	Location(s) where run-off enters the project site	C201
A18	Location(s) where run-off discharges from the project site prior to land disturbance	C201
A19	Location of all existing structures on the project site	C101
A20	Existing permanent retention or detention facilities, including manmade wetlands, designed for the purpose of storm water management	C201
A21	Locations where storm water may be directly discharged into ground water, such as abandoned wells, sinkholes, or karst features	C201
A22	Size of the project area expressed in acres	C101
A23	Total expected land disturbance expressed in acres	C302
A24	Proposed final topography	C201
A25	Locations and approximate boundaries of all disturbed areas	C302/C303
A26	Locations, size, and dimensions of all storm water drainage system such as culverts, storm water sewer, and conveyance channels	C303
A27	Locations of specific points where storm water and non-storm water discharges will leave the project site	C201
A28	Location of all proposed site improvements, including roads, utilities, lot delineation and identification, proposed structures, and common areas	C201
A29	Location of all on-site and off-site soil stockpiles and borrow areas	C303
A30	Construction support activities that are expected to be part of the project	C303
A31	Location of any in-stream activities that are planned for the project including, but not limited to, stream crossings and pump arounds	C303
B1	Description of the potential pollutant generating sources and pollutants, including all potential non-storm water discharges	C303
B2	Stable construction entrance locations and specifications	C302/C301
B3	Specifications for temporary and permanent stabilization	C303
B4	Sediment control measures for concentrated flow areas	C302
B5	Sediment control measures for sheet flow areas	C302
B6	Run off control measures	C302
B7	Storm water outlet protection location and specifications	C302
B8	Grade stabilization structure locations and specifications	C302
B9	De-watering applications and management methods	C303
B10	Measures utilized for work within water bodies	C303
B11	Maintenance guidelines for each proposed storm water quality measure	C302
B12	Planned construction sequence that describes the implementation of storm water quality measures in relation to land disturbance	C303
B13	Provisions for erosion and sediment control on individual residential building lots regulated under the proposed project	C303
B14	Material handling and spill prevention and spill response plan meeting the requirements in 327 IAC 2-6.1	C303
B15	Material handling and storage procedures associated with construction activity	C303
C1	Description of pollutants and their sources associated with the proposed land use	C303
C2	Description of proposed post-construction storm water measures	C303
C3	Plan details for each storm water measures	C303
C4	Sequence describing storm water measure implementation	C303
C5	Maintenance guidelines for proposed post-construction storm water measures	C303
C6	Entity that will be responsible for operation and maintenance of the post-construction storm water measures	C302

NOTES:
NA - NON APPLICABLE

Construction Storm Water General Permit Notes - Section A

A1 - Index of the location of required plan elements in the construction plan:
An index addressing the required elements within the drawing set is on C303 - Stormwater Pollution Prevention Plan.

A2 - A vicinity map depicting the project site location in relationship to recognizable local landmarks, towns, and major roads:
A map showing the project in relationship to other areas of the county is on C000 - Cover Sheet.

A3 - Narrative of the nature and purpose of the project:
The project consists of a new barn with grazing area and a new stone drive with parking area. The existing property will maintain with the new items integrating into the site. The parking area will include space for employees and patrons. Associated with the new improvements will be storm water management system consisting of overland flow and swales. (Shown on C303 - Stormwater Pollution Prevention Plan)

A4 - Latitude and Longitude:
The latitude is 41° 25' 58" North and longitude is 84° 49' 33" West. (Shown on C000 - Cover Sheet)

A5 - Legal description of the project site:
A legal description of the overall parcel is on C101 - Overall Site Plan

A6 - 11 x 17-inch plat showing building lot numbers/boundaries and road layout/names:
An 11" x 17" plan showing the overall property and new improvements is attached to this narrative.

A7 - Boundaries of the one hundred (100) year floodplains, floodway fringes, and floodways:
The 100 year floodway and floodway fringe is on C201 - Site Development Plan and is based on best available information from the Indiana Department of Natural Resources.

A8 - Land use of all adjacent properties:
North - Agricultural East - Agricultural
South - Agricultural West - Agricultural
(Shown on C303 - Stormwater Pollution Prevention Plan)

A9 - Identification of a U.S. EPA approved or established TMDL:
The receiving water from this project site is a Big Run (NA0352_05) which is part of the Big Run Watershed (041000036502). This watershed contributes to the St. Joseph watershed. Therefore TMDL established for waterways contributing to the St. Joseph watershed include Escherichia Coli (E. coli). (Shown on C303 - Stormwater Pollution Prevention Plan)

A10 - Name(s) of the receiving water(s):
The receiving water from this project site is a Big Run (NA0352_05) which is part of the Big Run Watershed (041000036502). (Shown on C303 - Stormwater Pollution Prevention Plan)

A11 - Identification of discharges to a water on the current 303(d) list of impaired waters and the pollutant(s) for which it is impaired:
From the EPA list, the condition of Big Run is listed as impaired (E. Coli.) as noted on C303 - Stormwater Pollution Prevention Plan.

A12 - Soils map of the predominate soil types:
The soils on this property are predominantly Crosby Silt Loam. A copy of the soils map is on C201 - Site Development Plan.

A13 - Identification and location of all known wetlands, lakes, and water courses on or adjacent to the project site (construction plan, existing site layout)
Big Run traverses the project site. (Shown on C201 - Site Development Plan)

A14 - Identification on any other state or federal water quality permits or authorizations that are required for construction activities:
This phase of the project scope will not require any additional federal or state water permits as noted on C303 - Stormwater Pollution Prevention Plan.

A15 - Identification and delineation of existing cover, including natural buffers:
For the most part, the site has been mostly disturbed with existing vegetative cover consisting of grass and trees. There is an existing tree line on the East side of the property. There waterway called "Big Run" that requires protection from disturbance and is located within FEMA zone "A". The delineation of the various surface coverage are on C201 - Site Development Plan.

A16 - Existing site topography at an interval appropriate to indicate drainage patterns:
The existing site topography has relief across the site, flowing from the West to the East, with contours directing water South to "Big Run". The existing and proposed contours are on C201 - Site Development Plan.

A17 - Location(s) where run-off enters the project site:
As referenced above, there is a potential runoff entering the site from the West. The existing contours are on C201 - Site Development Plan.

A18 - Location(s) where run-off discharges from the project site prior to land disturbances:
There is an existing runoff discharges into "Big Run". Proposed runoff is routed via swales to discharge into "Big Run". The existing contours are on C201 - Site Development Plan.

A19 - Location(s) of all existing structures on the project site:
The property has two houses (west most structures) and three barns (east most structures) on the existing property. These structures are shown on C101 - Overall Site Plan.

A20 - Existing permanent retention or detention facilities, including manmade wetlands, designed for the purpose of stormwater management:
There are no existing retention or detention facilities on site, shown on C201 - Site Development Plan.

A21 - Locations where storm water may be directly discharged into ground water, such as abandoned wells, sinkholes, or karst features:
There are no locations on property where storm water may directly discharge into the groundwater as illustrated on C201 - Site Development Plan.

A22 - Size of the project expressed in acres:
The total project area is 5.903 acres as noted on C101 - Overall Site Plan.

A23 - Total expected land disturbance expressed in acres:
The total project area is 11.84 acres as noted on C302 - Erosion Control Plan

A24 - Proposed final topography:
The final topography is on C201 - Site Development Plan and is illustrated as spot elevations and contours.

A25 - Locations and approximate boundaries of all disturbed areas:
The total disturbed area is 11.84 acres as noted and shown on C302 - Erosion Control Plan and C303 - Storm Water Pollution Prevention Plan.

A26 - Locations, size and dimensions of all stormwater drainage systems such as culverts, stormwater sewer, and conveyance channels:
The stormwater is conveyed by overland flow and conveyance swales. These are on C201 - Site Development Plan.

A27 - Locations of specific points where stormwater and non-stormwater discharges will leave the project site:
The discharge from the site will be from "Big Run" as shown on C201 - Site Development Plan.

A28 - Location of all proposed site improvements, including roads, utilities, lot delineation and identification, proposed structures, and common areas:
All the surface improvements including buildings, impervious areas, new surface finishes, horizontal notations, etc. are on C201 - Site Plan.

A29 - Location of all on-site and off-site soil stockpiles and borrow areas:
There will be no soil stockpiles located on site as shown on C201 - Site Development Plan.

A30 - Construction support activities that are expected to be part of the project
Any construction support area will be within the limits of disturbance and used as directed by the contractor. Since they are within the limits of disturbance, there will be no impact sensitive areas.

A31 - Location of any on-stream activities that are planned for the project including, but not limited to, stream crossings and pump arounds:
There are no in stream activities associated with this project.

Construction Storm Water General Permit Notes - Section B

B1 - Description of the potential pollutant generating sources and pollutants, including all potential non-storm water discharges:
1. Concrete Washout Area: Specific concrete washout area shall be established and labeled.
a) The specific concrete wash out will be in a provided lined roll off box at a specific location near the entrance to the job site.
b) The lined roll off box will be placed on stable soil with a stone approach.
c) Once the lined roll off box is full, it will be removed from the site and discarded as clean fill once solid. A new lined roll off box will replace the one removed.

2. Construction Mobile Equipment Fluid
a) All fueling of equipment will be managed and completed on a stone surface.
b) Daily observation of all equipment for inspection of leaks or potential leaks of any fluids.
c) Any observed fluid leaks are to be handled immediately with the equipment being moved to a stable stone surface and placed out of operation until maintenance is completed.
d) Spill kits are to be utilized once the equipment is moved to the stable stone surface to prevent leakage from penetrating the ground or impacting storm water runoff.

3. Construction Material Waste
a) All material waste is to be placed in provided roll off boxes as it is generated.
b) Full roll off boxes are to be removed and properly disposed of in a licensed facility.
c) No debris is to be stored on the ground surface at any time. These items are noted on C303 - Stormwater Pollution Prevention Plan.

B2 - Stable construction entrance locations and specifications:
A stable construction entrance consisting of compacted subgrade, filter fabric and #2 stone is to be used for all construction traffic entering / exiting the site. The stone surface is to be maintained with new stone as necessary to maintain a solid drive surface. The location of the temporary construction entrance is shown on Sheet C302 for plan view and Sheet C501 for detail.

B3 - Specifications for temporary and permanent stabilization:
The provisions for temporary stabilization during construction as well as permanent stabilization are included in the drawing set. The information contains specific stabilization techniques for the conditions of the site as well as timing of installation.
For temporary construction stabilization, it is the Contractor responsibility to maintain the stabilization during the construction duration and until permanent stabilization is installed.
For permanent stabilization, it is expected installation to occur immediately after final grading of the soil surface. Permanent stabilization is to be maintained by the Owner until 75% effective cover is established on the soil surface.
The stabilization is noted on C302 - Erosion Control Plan.

B4 - Sediment control measures for concentrated flow areas:
The concentrated flow is protected on the bank with straw bale check dams every 100 feet as noted on C302 - Erosion Control Plan.

B5 - Sediment control measures for sheet flow areas:
Sediment control for sheet flow is handled at the project perimeter with silt fence. For collection swales of sheet flow areas, straw bale check dams are used. These items are referenced on C302 - Erosion Control Plan.

B6 - Run-off control measures:
Sediment control for sheet flow is handled at the project perimeter with silt fence. For collection swales of sheet flow areas, straw bale check dams are used. These items are referenced on C302 - Erosion Control Plan.

B7 - Stormwater outlet protection location and specifications:
The concentrated flow is protected on the bank with straw bale check dams as noted on C302 - Erosion Control Plan.

B8 - Grade stabilization structure locations and specifications:
The grade transition areas of surface to collection swales is protected with erosion control blankets as illustrated on C302 - Erosion Control Plan.

B9 - De-watering applications and management methods:
There are no dewatering applications required for this project. (Noted C303 - Stormwater Pollution Prevention Plan)

B10 - Measures utilized for work within waterbodies:
This is not applicable to this project. (Noted C303 - Stormwater Pollution Prevention Plan)

B11 - Maintenance guidelines for each proposed stormwater quality measure:
The stormwater quality is by straw bale check dams every 100 feet along the drainage swale. (C302 - Erosion Control Plan)

B12 - Planned construction sequence that describes the implementation of stormwater quality measures in relation to land disturbance:
The construction sequence for installation of the erosion control measures and stormwater pollution prevention devices are detailed on C303 - Stormwater Pollution Prevention Plan.

B13 - Provisions for erosion and sediment control on individual residential building lots regulated under the proposed project:
Not applicable to this project. (Noted C303 - Stormwater Pollution Prevention Plan)

B14 - Material handling and spill prevention and spill response plan meeting the requirements in 327 IAC 2-6.1:
The potential materials on site that could cause a spill response include fuels, petroleum fluids or other liquids as part of the construction equipment on site. If a spill occurs, immediate determination of the extent and emergency response requirements should be determined. Immediate containment of the spill with onsite spill kits should be completed. Once the spill is contained, contact is to be made to the Indiana Department of Environmental Management, Office of Land Quality, Emergency Response Section: Area Code 1-800-253-7745 for in-state calls (toll free) within two hours of the spill. The contact should include the likelihood of damage to the waterways of the State of Indiana. This information is noted on C303 - Stormwater Pollution Prevention Plan.

B15 - Material handling and storage procedures associated with construction activity:
All construction debris and wastes are to be loaded directly into provided roll off boxes for proper disposal off site. In not terms is debris or waste to be stored on site awaiting disposal or burned on property. Liquid wastes such as concrete wash out is to be disposed in the appropriate concrete wash out lined roll off boxes as provided. This includes any mortar/masonry/concrete grout material. Once these containers are full, they are to be removed from the site and disposed of in a licensed facility. Roll off boxes are to be rotated empty for full boxes for the entire project duration.

Construction Storm Water General Permit Notes - Section C

C1 - Description of pollutants and their sources associated with the proposed land use:
The post construction land use will have no potential contaminants. (Noted C303 - Stormwater Pollution Prevention Plan)

C2 - Description of proposed post-construction stormwater measures:
Maintenance of grass cover including appropriate mowing and re-seeding if necessary. (Noted C303 - Stormwater Pollution Prevention Plan)

C3 - Plan details for each stormwater measure:
The post construction stormwater measures primarily consist of maintenance of grass cover including appropriate mowing and re-seeding as noted on C303 - Storm Water Pollution Protection Plan.

C4 - Sequence describing stormwater measure implementation:
The sequence of installation for the post construction stormwater measure is part of construction sequencing shown on C303 - Stormwater Pollution Prevention Plan.

C5 - Maintenance guidelines for proposed post-construction stormwater measures:
An operations and maintenance manual are part of the submittal information under separate documentation.

C6 - Entity that will be responsible for operation and maintenance of the post-construction stormwater measures:
The responsible person for the post construction stormwater measures is the property owner as noted C302 - Erosion Control Plan.



Moench Engineering
4000 Clarks Creek Road
Plainfield, Indiana 46168
(317) 837-2767

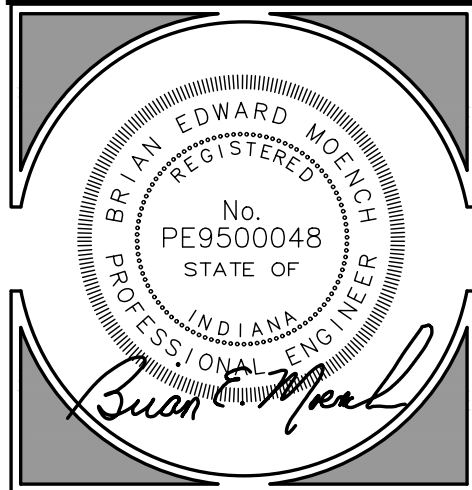
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Buter, IN 46721

STORM WATER POLLUTION PREVENTION PLAN



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CHECKED BY: BEM
PROJECT #: 25220
DATE: 11/10/25
SHEET NUMBER:

C303





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Engineering

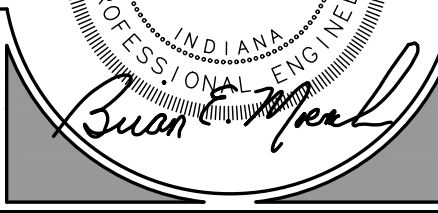
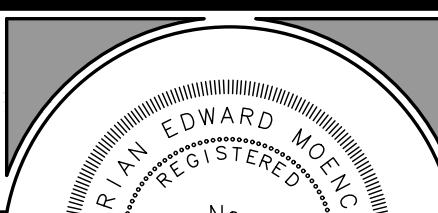
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Confined Feeding Operation

7735 CR 28
Buter, IN 46721

SECTIONS and DETAILS

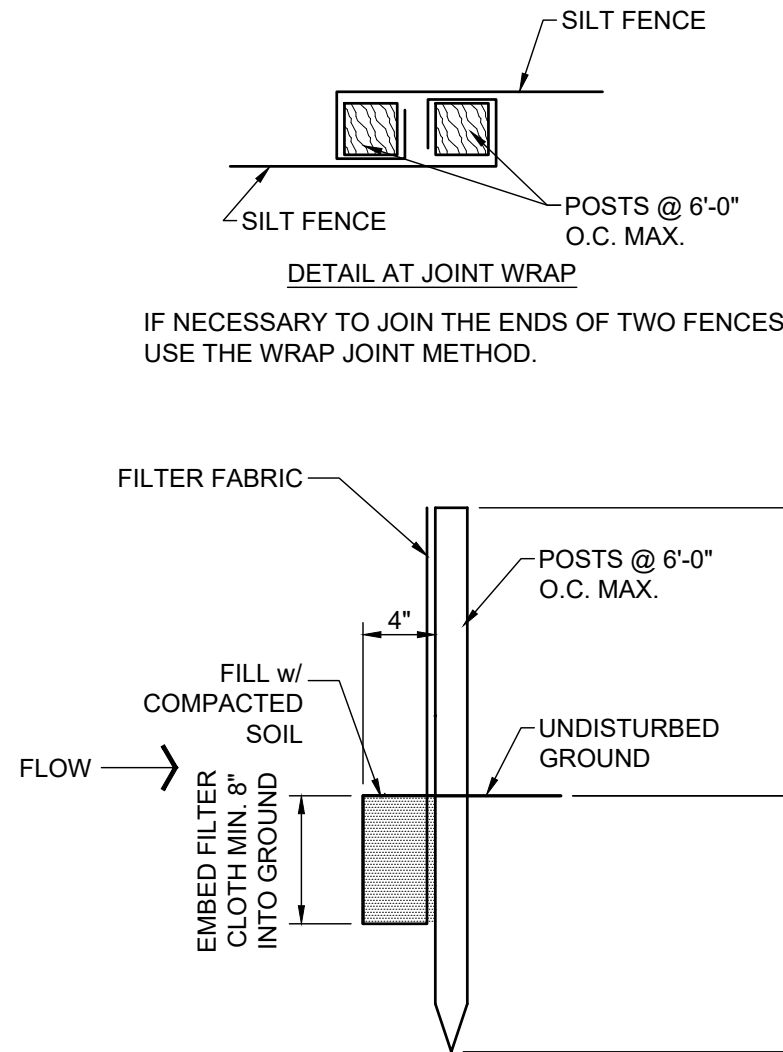


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SHEET NUMBER:

C501



NOTE:
PREFABRICATED SILT FENCE WILL BE ACCEPTABLE, AS LONG
AS THE STAKES ARE DRIVEN A MINIMUM OF 16" INTO GROUND.

INSTALLATION OF SILT FENCE:

SITE PREPARATION:

- PLAN FOR THE FENCE TO BE AT LEAST 10 FEET FROM THE TOE OF THE SLOPE TO PROVIDE A SEDIMENT STORAGE AREA.
- PROVIDE ACCESS TO THE AREA IF SEDIMENT CLEANOUT WILL BE NEEDED.

MAINTENANCE:

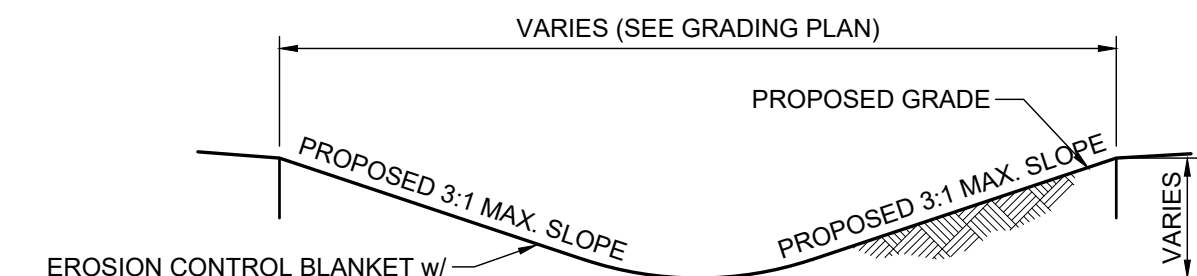
- INSPECT THE SILT FENCE PERIODICALLY AND AFTER EACH STORM EVENT.
- IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY.
- REMOVE DEPOSITED SEDIMENT WHEN IT REACHES HALF THE HEIGHT OF THE SILT FENCE AS ITS LOWEST POINT OR IS CAUSING THE FABRIC TO BULGE.
- TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEAN OUT.
- AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE FENCE AND SEDIMENT DEPOSITS, BRING THE DISTURBED AREA TO GRADE AND STABILIZE.

SILT FENCE DETAIL

NOT TO SCALE

3

C501



EROSION CONTROL BLANKET w/
AMERICAN GREEN S150 OR EQUAL
FOR SECURING THE BLANKET. USE
EROSION CONTROL BLANKET.

NOTES FOR EROSION CONTROL BLANKET INSTALLATION

NOTES:

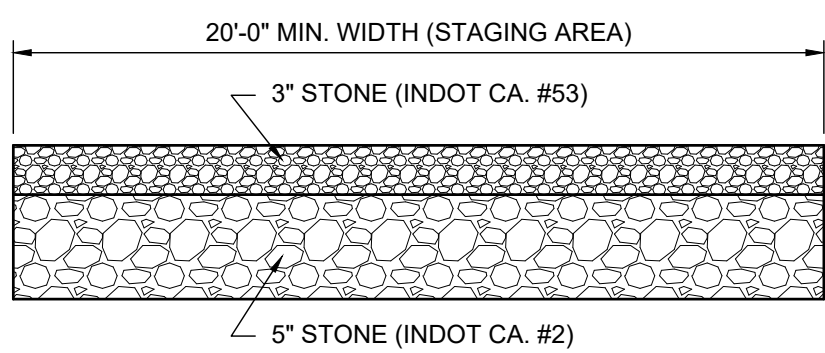
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER AND SEED.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP x 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW ON BOTTOM OF CHANNEL.
- PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH A 6" OVERLAP. USE A DOUBLE RO OF STAGGERED STAPLES 4" APART TO SECURE BLANKETS.
- FULL LENGHT OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN A 6" DEEP x 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- BLANKETS ON SIDE SLOPES MUST BE OVERLAPPED 4" OVER THE CENTER BLANKET AND STAPLES.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP x 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

TYPICAL SWALE SECTION

NOT TO SCALE

2

C501

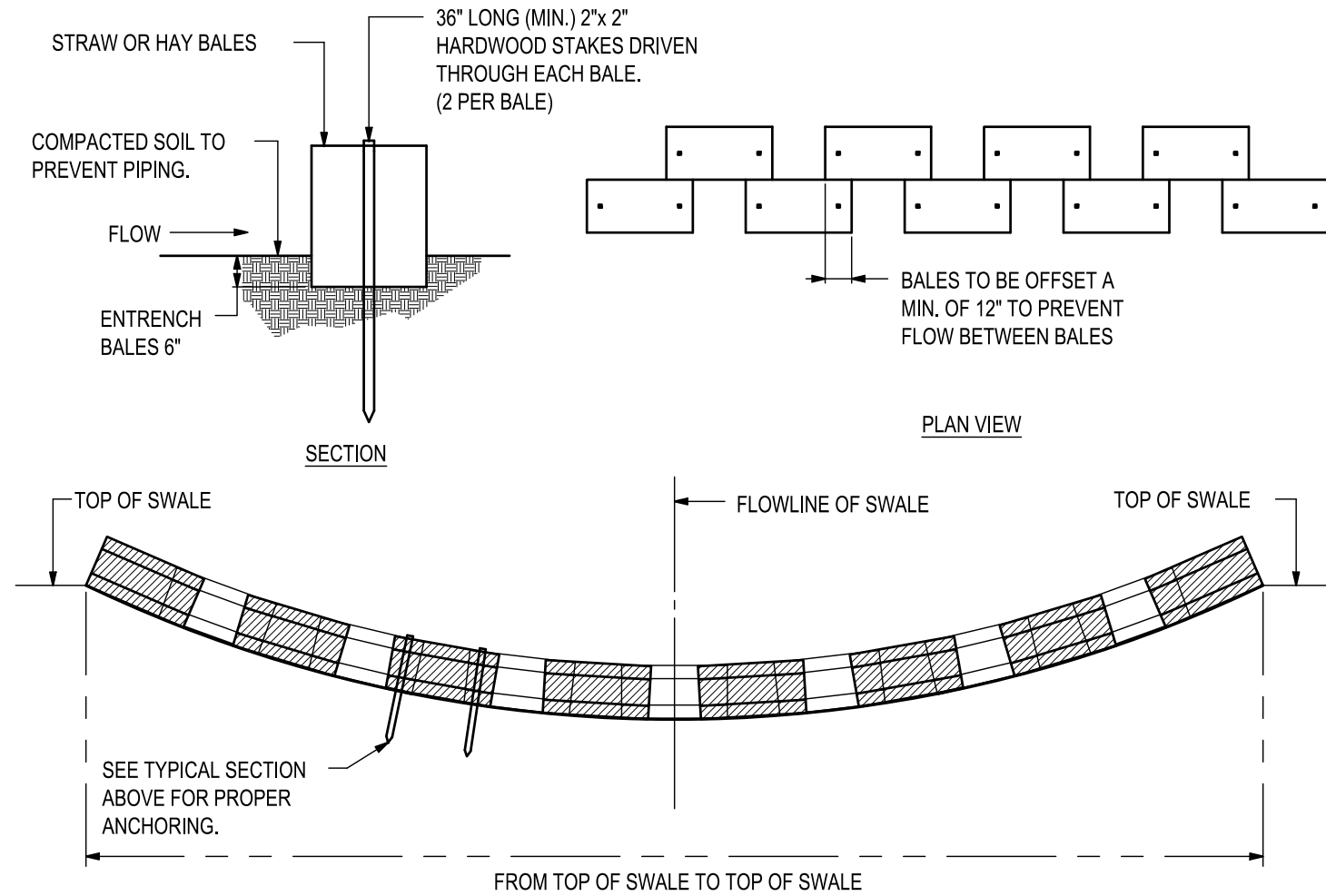


STONE SURFACE and STAGING AREA SURFACE DETAIL

NOT TO SCALE

1

C501



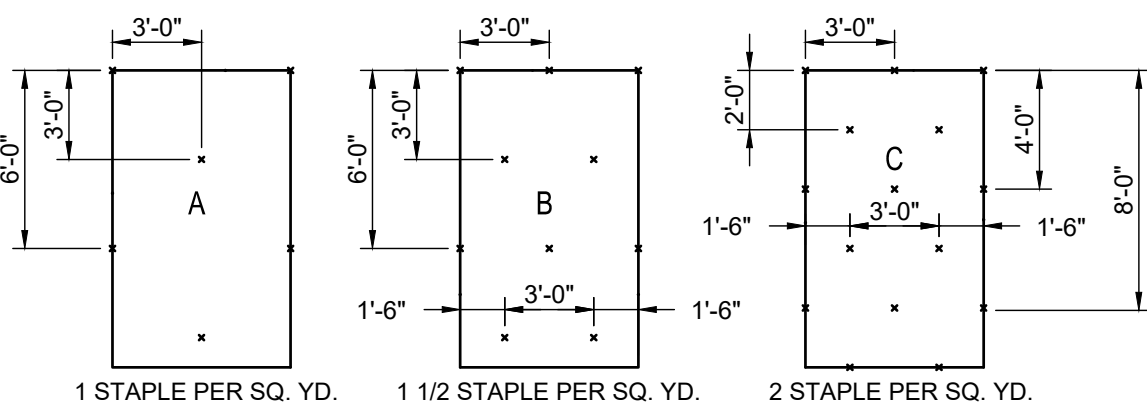
NOTE:
CONTRACTOR SHALL INSPECT
DAILY AND MAINTAIN AS REQD.
TO INSURE PROPER WORKING ORDER

STRAW BALE DAM

NOT TO SCALE

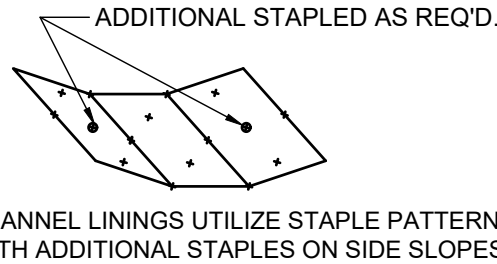
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C501



GENERAL STAPLE RECOMMENDATIONS

SLOPE LENGTH IN FEET	4:1	3:1	2:1	1:1	CHANNEL LINING
300	B	C	C	C	
275	B	C	C	C	
250	B	C	C	C	
225	B	C	C	C	
200	B	C	C	C	
175	B	C	C	C	
150	B	C	C	C	
125	B	C	C	C	
100	B	C	C	C	
75	B	C	C	C	
50	B	C	C	C	
25	B	C	C	C	
0	B	C	C	C	



CHANNEL LININGS UTILIZE STAPLE PATTERN "C"
WITH ADDITIONAL STAPLES ON SIDE SLOPES.

NOTES:

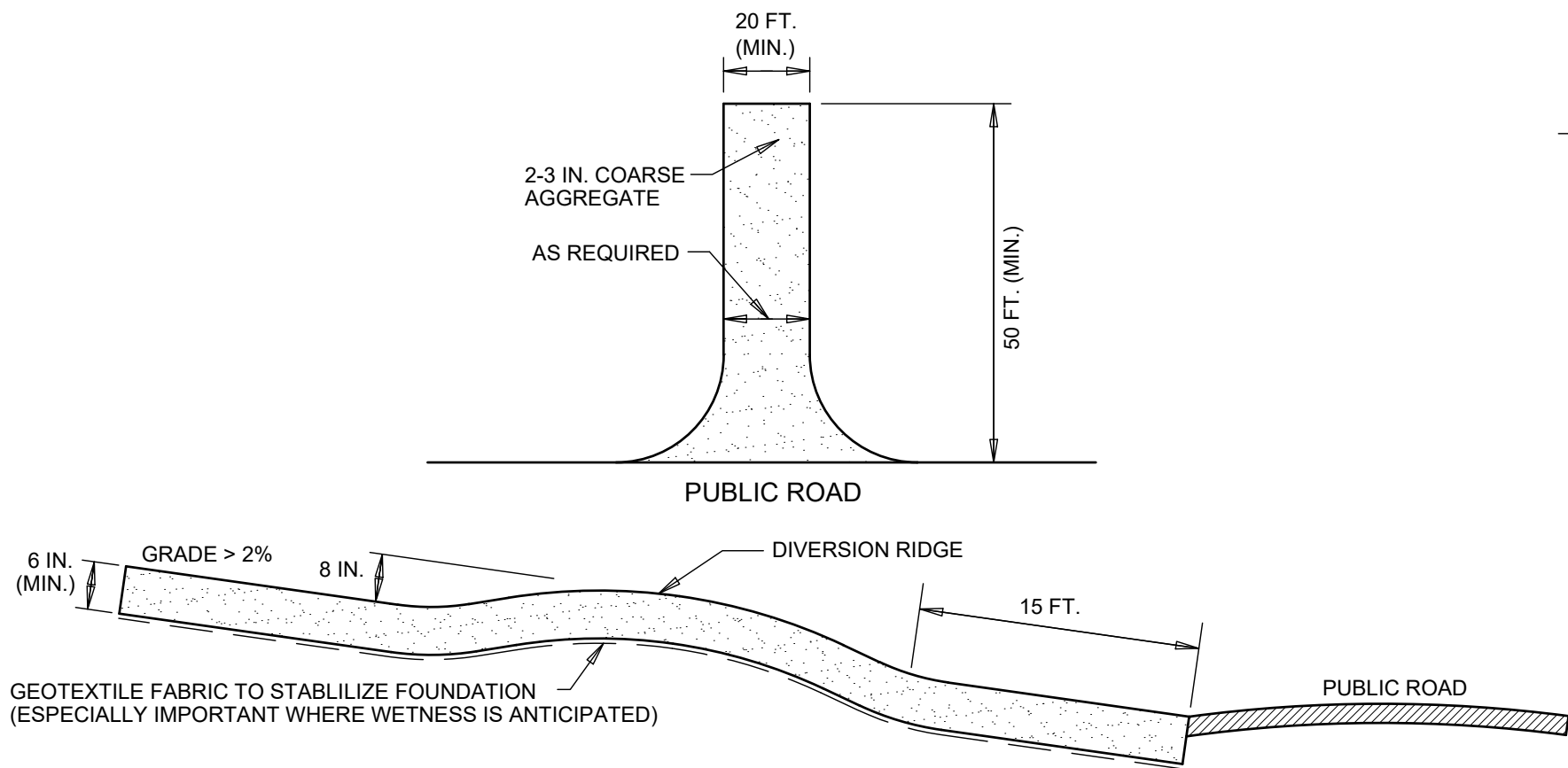
- STAPLE PATTERNS APPLY TO ALL NORTH AMERICAN GREEN EROSION BLANKETS.
- STAPLE PATTERNS MAY VARY DEPENDING UPON SOIL TYPE AND AVERAGE ANNUAL RAINFALL.
- AT SLOPE LENGTHS GREATER THAN 300 FEET OR WHERE DRAINAGE OVER LARGE AREAS IS DIRECTED ONTO BLANKETS, STAPLE PATTERN "C" SHOULD BE UTILIZED.
- CHANNEL LININGS REQUIRE A 2" (MIN.) OVERLAP AT LONGITUDINAL JOINTS AND SIDE SLOPES REQUIRE A 6" (MIN.) OVERLAP. WHERE OVERLAPS OCCUR, THE UPSTREAM BLANKET SHALL OVERLAP THE DOWNSTREAM.
- NORTH AMERICAN GREEN S150BN TO BE USED FOR EROSION CONTROL BLANKETS.

EROSION CONTROL BLANKET STAPLE PATTERN

NOT TO SCALE

4

501



REQUIREMENTS:

Material: 2-3 in. washed stone (INDOT CA No.2) over a stable foundation.

Thickness: 6 in. minimum

Width: 12 ft. minimum or full width of entrance/exit roadway, whichever is greater.

Length: 50 ft. minimum. The length can be shorter for small sites such as for an individual home.

Washing facility (optional): Level area with 3 in washed stone minimum or a commercial rack, and waste water diverted to a sediment trap or basin.

Geotextile fabric underliner: May be used under wet conditions or for soils within a high seasonal water table to provide greater bearing strength.

INSTALLATION:

- Avoid locating on steep slopes or at curves in public roads.
- Remove all vegetation and other objectionable material from the foundation area, and grade and crown for positive drainage.
- If slope towards the road exceeds 2%, construct a 6-8 in.-high water bar (ridge) with 3:1 side slopes across the foundation area about 15 ft. from the entrance to divert runoff away from the road.
- Install pipe under the pad if needed to maintain proper public road drainage.
- If wet conditions are anticipated, place geotextile fabric on the graded foundation to improve stability.
- Place stone to dimensions and grade shown in the erosion control plan, leaving the surface smooth and sloped for drainage.
- Divert all surface runoff and drainage from the stone pad to a sediment trap or basin.

MAINTENANCE:

- Inspect entrance drive and sediment disposal area weekly and after storm events or heavy use.
- Reshape pad as needed for drainage and runoff control.
- Topdress with clean stone as needed.
- Immediately remove mud and sediment tracked or washed onto public roads by brushing or sweeping. Flushing should only be used if the water is conveyed into a sediment trap or basin.
- Repair any broken road pavement immediately.

COMMON CONCERNS:

Inadequate runoff control--results in sediment washing onto road.
Stone too small, pad too thin, or geotextile fabric absent--results in ruts and a muddy condition as stone is pressed into the soil: add more stone.
Pad too short for heavy construction traffic--extend the pad beyond the 50-ft. length as needed.
Pad not flared sufficiently at road entrance--results in mud being tracked onto the road and possible damage to the road edge: widen stone entrance and repair road damage.
Unstable foundation--use geotextile fabric under th pad and/or improve foundation drainage.

TEMPORARY CONSTRUCTION ENTRANCE

NOT TO SCALE

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